



Department of **Planning,**
Lands and Heritage

State Planning Policy 7.3



Residential Design Codes

Volume 1 - Low and Medium Density

Draft for public comment November 2020



The Department of Planning, Lands and Heritage acknowledges the traditional owners and custodians of this land. We pay our respect to Elders past and present, their descendants who are with us today, and those who will follow in their footsteps.

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About this document

Planning reform

Western Australia is experiencing a shifting planning and development landscape, influenced by new disruptive technologies, changes to our economy, and a diverse population with different needs and expectations.

A streamlined, contemporary and fit-for-purpose planning system that meets the varying needs of our vast State is critical for the delivery of quality housing for connected, vibrant and affordable communities, both now and the future.

The Action Plan for Planning Reform (Government of Western Australia, 2019) elevates the requirement for well-designed residential development across the State and the review and update of the Residential Design Codes (R-Codes) supports this goal.

About good design

Good design is not a subjective idea; it can be defined and measured. Notions of design quality extend beyond taste, style and appearance to encompass functionality, sustainability, response to context, structural integrity, flexibility in use, and cost efficiency, both during construction and over the life of the building. Most importantly, good design results in an environment that performs well for all users and the broader community¹. Good design endeavours to reconcile multiple concurrent and often competing objectives and outcomes that vary according to the circumstances of each site and project. A rigorous, considered and contextual design process should prioritise these competing objectives to develop a cohesive, site-responsive design. Undertaking this process typically creates better performing buildings and better outcomes for community.

¹ *Better Places and Space: a policy for the built environment in Western Australia, Office of the Government Architect, 2013*

Outcomes-based planning

The R-Codes strongly advocate contextual and site-specific development solutions. To facilitate good design outcomes, the R-Codes Volume 1 provides two pathways for development assessment and determination.

Applications for development approval need to demonstrate that the proposal achieves the requirements of each design element of the R-Codes through either of the following pathways:

1. Deemed to comply – Deemed-to-comply provisions provide a straightforward means for the development proposal to demonstrate compliance with the objectives and design principles of the R-Codes. They outline the expected minimum development standards that should be met.

2. Design principle – The design principles pathway offers an alternative performance-based approach. This allows for innovative design responses that may be more context and site-responsive. The onus is on the proponent to demonstrate how they have met or exceeded the requirements of the relevant design principle when this pathway is pursued.

To foster good design outcomes, proponents are encouraged to access available opportunities for independent design review consistent with State Planning Policy 7.0 – *Design of the Built Environment* and the *Design Review Guide* (Western Australian Planning Commission, 2019). This can be particularly helpful for more complex applications and applications pursuing a performance-based, design principle approvals pathway, where the requirements of the code can be met in a variety of ways.

Who is this design code for?

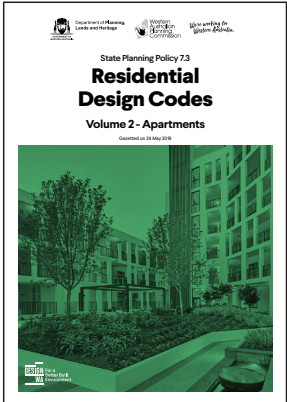
The R-Codes provide planning and design provisions for residential development across Western Australia. These provisions have been provided to assist in the following ways:

- Guide developers, urban planners, urban designers, architects, landscape architects, builders and other professionals when designing housing developments and preparing an application for development approval.
- Assist decision-makers and planning professionals in local and State government with assessment of development proposals and in implementing strategic planning in the form of local policy and design guidance.
- Support communities by raising awareness of the principles of good design and by promoting quality housing designs that will make a positive contribution to local neighbourhoods.

About this document (cont.)

R-Codes structure

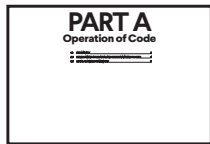
The R-Codes consist of two volumes.

R-Code Volume	Single Houses	Grouped Dwellings	Apartments/ Multiple Dwellings
<div>VOLUME 1</div> <div></div> <div>Part B Low Density Code</div> <div>Part C Medium Density Code</div>	R2 to R25 R30 and above	R2 to R25 R30 and above	R10 to R25 R30 to R60
<div>VOLUME 2</div> <div></div> <div><i>Apartments (separate document)</i></div>	N/A	N/A	<i>R80 and above and mixed use development (dwelling component only)</i>

About this document (cont.)

Document structure

There are three parts to the R-Codes Volume 1 (this document).



PART A – OPERATION OF CODE

Part A establishes the purpose, application and operation of the R-Codes Volume 1 and consists of the following sections:

Section 1.0 Preliminary

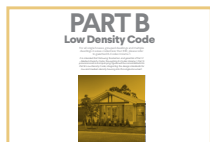
Contains the administrative provisions and statutory framework, including the citation, general objectives of the code, and its application in relation to residential development.

Section 2.0 Development application and decision-making process

Outlines the requirements for applications and the process for assessment and determination of development proposals. This section also explains when consultation with neighbours may be required and the applicable process.

Section 3.0 Local planning framework

Explains how the provisions of the code interact with local government planning frameworks. This includes which local planning instruments can modify R-Code provisions to achieve context and site-responsive development outcomes.



PART B – LOW DENSITY CODE

Part B applies to all single houses, grouped dwellings, and multiple dwellings in areas coded less than R30.

Note: It is intended that following finalisation and gazettal of Part C – Medium Density Code, the existing R-Codes Volume 1, Part 5 provisions and accompanying figures will be consolidated into Part B: Low Density Code; integrating the design standards for low and medium density housing into this single document.



PART C – MEDIUM DENSITY CODE

Part C applies to all single houses and grouped dwellings in areas coded R30 and above, and multiple dwellings in areas coded R30 to R60.

The provisions of the Medium Density Code and related figures, tables and diagrams, are captured in four sections:

1.0 Land

2.0 The Garden

3.0 The Building

4.0 Neighbourliness

Objectives are included at the beginning of each of these sections to give guidance for development proposals and assessment. These four sections are further divided into design elements that include the design principle and deemed-to-comply pathways.



APPENDICES

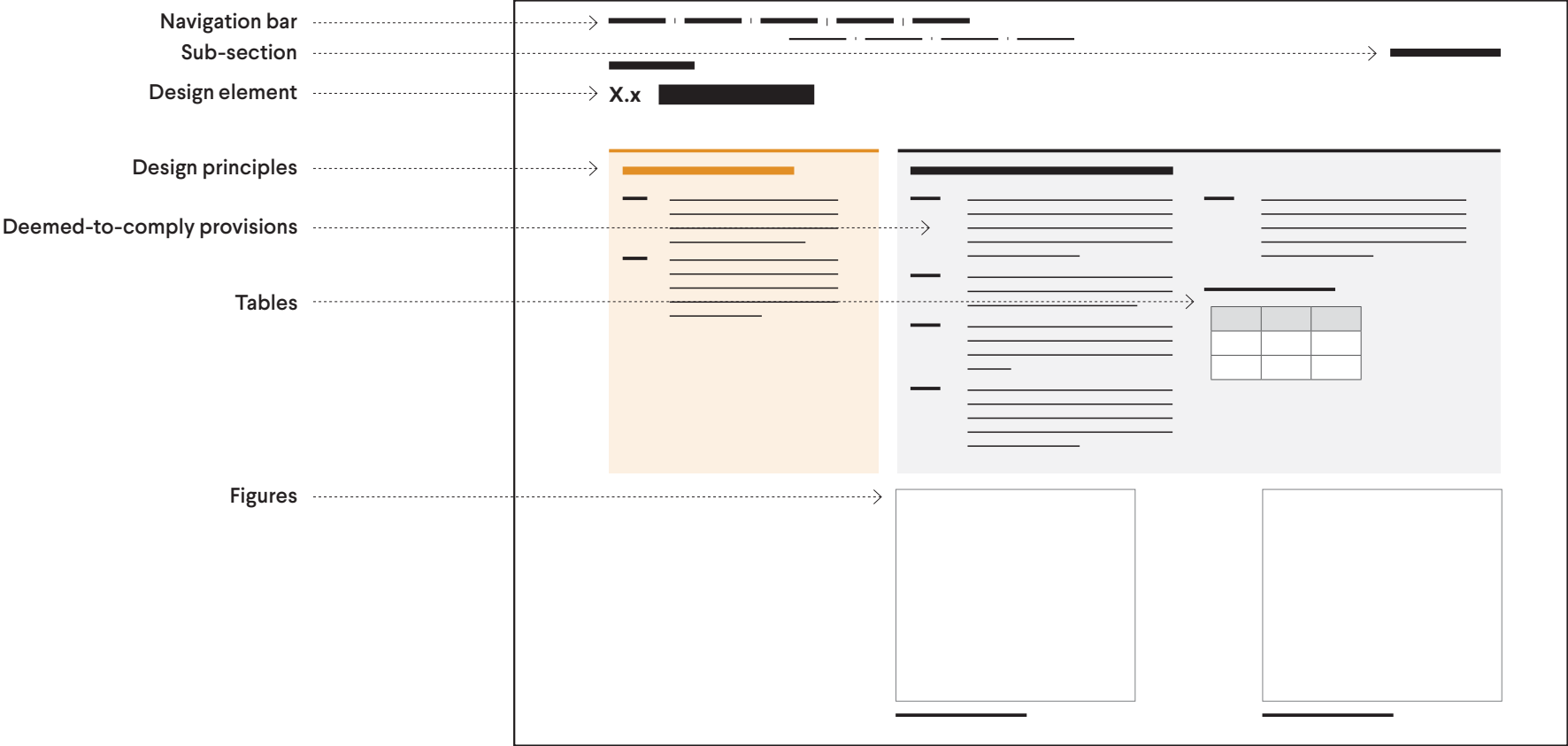
The appendices, which form part of the statutory provisions of the R-Codes Volume 1, consists of definitions; context and site analysis; and application requirements.

About this document (cont.)

Graphic layout

Throughout this document, words written in bold print have a corresponding definition listed in *A1 Definitions*.

The R-Codes Volume 1 applies a two-column format. The left-hand column provides the element **design principles**. The right-hand column provides the **deemed-to-comply** provisions.



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PART B: LOW DENSITY CODE

For all single houses, grouped dwellings and multiple dwellings in areas coded less than R30, please refer to gazetted R-Codes Volume 1.

It is intended that following finalisation and gazettal of Part C – Medium Density Code, the existing R-Codes Volume 1, Part 5 provisions and accompanying figures will be consolidated into Part B: Low Density Code; integrating the design standards for low and medium density housing into this single document.

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Operation of Code

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1.0 Preliminary

1.1 Citation

This planning policy is made under Part 3A of the *Planning and Development Act 2005* and is cited as the Residential Design Codes Volume 1 (R-Codes).

1.2 Purpose of the R-Codes

The purpose of the R-Codes is to provide a comprehensive basis for the guidance and control of **residential development** throughout Western Australia.

1.3 General objectives of R-Codes

The general objectives of the R-Codes are:

Residential development objectives

- to facilitate quality **residential development** that provides occupants with high **amenity** and liveable housing for an enhanced quality of life;
- to promote a range of housing types that provide residents with choice, including affordable options;
- to encourage housing that responds to local context and contributes to the desired **streetscape**, precinct and neighbourhood character;
- to facilitate residential development that is environmentally, economically and socially **sustainable**; and
- to encourage house designs that are respectful and responsive to local heritage and cultural values.

Planning, governance and development process objectives

- to facilitate **residential development** that is appropriately designed for the intended residential purpose, land tenure, density, place context and **scheme** objectives;
- to encourage residential design that is responsive to the **development site**, inclusive of its location, size and geometry;
- to allow variety and diversity as appropriate where it can be demonstrated this better reflects the context or scheme objectives;
- to allow for appropriate modifications to, and augmentation of R-Codes provisions through **local planning frameworks**;
- to provide certainty in timely assessment and determination of proposals; and
- to provide an assessment framework that supports consistent application of standards and decision-making between jurisdictions.

In assessing and determining proposals for **residential development**, the **decision-maker** shall have regard to the above general objectives, and any relevant objectives of the relevant **scheme**.

1.4 Application of the R-Codes

The R-Codes applies to all **residential development** throughout Western Australia and is divided into two volumes. R-Codes Volume 1 applies to low and medium density residential development, whereas R-Codes Volume 2 applies to high density **multiple dwelling (apartment) developments** in areas coded R80 and above and the **dwelling** component of **mixed use development**.

R-Codes Volume 1 is comprised of three parts.

Part A of Volume 1 outlines the application and decision-making processes for **residential development**, and the variations that can be made to the provisions of the R-Codes through **local planning frameworks**.

Part B of Volume 1 includes provisions for **single houses**, **grouped dwellings** and **multiple dwellings** in areas coded less than R30.

Part C of Volume 1 applies to medium density **development**, specifically **single houses** and **grouped dwellings** in areas coded R30 and above; and **multiple dwellings (apartments)**, in areas coded R30 to R60 inclusive.

1.5 Explanatory guidelines

The Western Australian Planning Commission (**WAPC**) may prepare more detailed explanatory guidelines on the matters addressed in the R-Codes Volume 1, in consultation with local government and relevant stakeholders, to meet the objectives of the R-Codes Volume 1 and, if prepared, these should be considered in the determination of proposals.

The explanatory guidelines, which may be amended from time to time, provide design and assessment guidance to assist interpretation and assessment of proposals against the **design principles** and **deemed-to-comply** provisions of the R-Codes Volume 1.

2.0 Development application and decision-making process

2.1 R-Codes development application process

The R-Codes and any subsequent amendments are read into **schemes** under the *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations) (refer cl.25, part 1 of Schedule 1).

Schedule 2 of the Regulations exempts certain works from requiring a **development** application and development approval (refer cl. 61, part 7 of Schedule 2).

The following information provides a summary of when a **development** application is required. It is recommended proponents of developments consult with the relevant **decision-maker** to establish the application and procedural requirements that apply to the specific development proposal in the applicable jurisdiction.

2.1.1 When a development application is required

A **development** application² is required where required under a **scheme**.

Where a **development** application is required, the application shall be lodged with the relevant **decision-maker** for assessment and determination.

² Refer cl. 60 and 61 of part 6 in Schedule 2 of the Regulations.

2.1.2 Design development

Prior to lodging the **development** application with the **decision-maker**, proponents should undertake a thorough design development process to progress the best and most appropriate design response for the **site**.

A thorough design development process will entail the following:

1. Context and site analysis

Context and site analysis early in the design process to understand the existing and intended character of the locality and the opportunities and constraints presented by the **site** (refer *A2 Context and site analysis* for considerations that may be relevant at this stage).

2. Concept design

Concept design consisting of preliminary designs and sketches that address **development** opportunities and constraints, and explore different development options for the **site** that would be compliant with the R-Codes and **local planning framework**.

3. Pre-lodgement engagement

Pre-lodgement engagement with the **decision-maker** (where this service is available) to resolve design issues and use feedback to improve and advance the **development** proposal.

4. Design review

Where available, design review in addition to pre-lodgement engagement to obtain independent, expert advice on the design quality of the proposed **development**. Design review is particularly relevant to larger scale, complex and innovative design proposals proposing a **design principle** pathway. Refer to Design Review Guide (**WAPC**, 2019) for further details.

2.1.3 Development application requirements

All applications for **development** approval must provide the information required by the relevant **scheme** and as deemed to be necessary by the **decision-maker** to assess and determine the application including details where the proposal complies and does not comply with the R-Code requirements (refer *A3 Application documentation* for a list of items that may be required by decision-makers).

Deemed-to-comply provisions prescribe the minimum design standards that an application must satisfy in order to meet the requirements of each design element. Alternatively, proponents may lodge for a **design principle** assessment against one or multiple elements.

The application must detail in writing where the proposed **development** departs from a **deemed-to-comply** provision and give justification of how the proposal satisfies the corresponding **design principle** and any relevant objectives and requirements of the **local planning framework**. Local neighbourhood character or **site** conditions may be relevant in justifying why it may not be possible or desirable to satisfy a deemed-to-comply provision and how a proposal satisfies the corresponding design principle.

2.2 Assessment and determination process under the R-Codes

2.2.1 Assessment

In considering an application, a **decision-maker** shall have regard to matters specified under cl. 67, part 9 in Schedule 2 of the Regulations.

The **decision-maker** shall not vary the minimum or average **site area** per **dwelling** requirements set out in **Table A** except as provided for in the R-Codes Volume 1 or the **scheme**.

2.2.2 Judging merit of proposal

Where an application does not meet a **deemed-to-comply** provision(s) of the R-Codes Volume 1 and addresses a **design principle**(s), the **decision-maker** is required to exercise judgement and undertake a merit-based assessment to determine the proposal.

Judgement of merit is exercised by the **decision-maker** only for the specific element of a proposal that does not satisfy the relevant **deemed-to-comply** provision. Where the decision-maker is satisfied the **design principle** is met for that specific element, the corresponding deemed-to-comply provision(s) should not be applied.

Where a report from a design review panel is available¹, the recommendations and advice may inform the judgement of merit and exercise of discretion.

In making a determination on the suitability of an application, the **decision-maker** shall exercise judgement having regard to:

- i. any relevant purpose, objectives and provisions of the **scheme**;
- ii. any relevant objectives and provisions of the R-Codes;
- iii. a provision of a **local planning policy** adopted by the decision-maker consistent with the R-Codes; and
- iv. orderly and proper planning.

The **decision-maker** shall not refuse to grant approval to an application where the application satisfies the **deemed-to-comply** provisions and **design principles** of the R-Codes Volume 1 and any relevant provision of the **scheme** and **local planning framework**.

Where an application does not satisfy a **deemed-to-comply** provision and is not consistent with the objectives, intent, and corresponding **design principle**, the application should be refused by the **decision-maker**.

¹Refer to *Design Review Guide* (WAPC, 2019)

2.3 Consultation

2.3.1 Consultation not required

Where a **development** proposal is **deemed-to-comply** in accordance with the R Codes Volume 1, it will not require advertising to adjoining owners and occupiers.

2.3.2 Consultation required due to potential impact

Where an application is made for **development** approval which presents:

- i. a proposal against one or more **design principles** of the R-Codes Volume 1; and
- ii. there is the potential for the **amenity** of an **adjoining property** or the **street** to be impacted;

then there may be grounds for the **decision-maker** to notify affected owners and occupiers of the proposal.

2.3.3 Consultation required by local planning framework

Where the **decision-maker** is to judge the merits of a **development** application as part of a **design principle** pathway assessment and:

- i. the merits of the proposal are a matter of technical opinion; and
- ii. the decision-maker is satisfied that in its opinion the proposed development will not result in a significant impact on the **amenity** of the adjoining residential property or the **street**;

it is only necessary to seek comment from adjoining owners and occupiers where specifically required by the **scheme** or a relevant **local planning policy**.

2.3.4 Consultation approach

If in the opinion of the **decision-maker**, adjoining owners and occupiers are likely to be significantly adversely impacted by the proposed **development**, the opportunity to view and comment on the proposal should be provided.

The owners and occupiers of properties likely to be adversely impacted, as identified by the **decision-maker**, shall be notified in accordance with the requirements of cl. 64, part 8 in Schedule 2 the Regulations and invited to comment on that part of the proposed **development** that does not meet the **deemed-to-comply** provisions of the R-Codes Volume 1.

As a minimum, notified owners and occupiers should be provided with information on:

- i. how to view details of the proposal;
- ii. the **site** and general nature of the proposal; and
- iii. **design principles** that the proposal is addressing and the supporting justification provided by the proponent.

The **decision-maker**, upon receipt of comments from owners and occupiers of affected properties, should undertake a considered analysis of comments, balanced with technical expertise when exercising its judgement to determine the proposal.

Where no response is received within the time specified from the date of notification, the **decision-maker** will determine that the person(s) notified does not wish to provide any comment and may proceed to determine the proposal on its merits and issue its decision.

A summary of all comments received during the consultation period shall be provided to the proponent on request and, if so requested, a period of not more than 10 days should be allowed within which the proponent may submit a response to the comments prior to the **decision-maker** considering the proposal. Submitters may elect to have their name and other personal details redacted from any submission provided to the proponent or published in any other form.

In making a determination, the **decision-maker** shall consider any comments made during the consultation period and the proponent's response to the comments made on the proposal (if any).

The **decision-maker** should advise affected owners and occupiers of its decision and make available the approved plans for viewing if requested.

2.3.5 Amended plans

Where a proposed **development** has previously been advertised and amended plans are received post-advertising, the amended plans may be the subject of a further consultation period where, in the opinion of the **decision-maker**, the proposed development requires additional exercise of judgement which may in the opinion of the decision-maker have an adverse impact on the **amenity** of an **adjoining property** or the **streetscape**.

Where, in the opinion of the **decision-maker**, amended plans reduce the impact of a proposed **development** and/or where they address comments received from submitters, the amended plans need not be the subject of readvertising.

Where amended plans are required to be the subject of readvertising, the consultation process should be in accordance with section **2.3.4**.

*Notes: The same consultation procedures outlined in section **2.3.4** should be applied where amended plans are submitted prior to a **decision-maker** determining a proposed **development** that propose a material change to a development which would warrant consultation under section **2.3.2**.*

***Decision-makers** may have consultation requirements under their **local planning framework** that are additional or different to those described above. It is recommended that discussions undertaken at pre-lodgement stage confirm the consultation requirements.*

3.0 Local planning framework

3.1 Function of local planning frameworks

Local planning frameworks may amend or replace certain provisions of the R-Codes Volume 1. **Decision-makers** are encouraged to:

- i. maximise consistency of local planning frameworks with the R-Codes; and
- ii. consider the need for settings that respond to a specific need related to a locality or region, where this is consistent with the element objectives and **design principles** of the R-Codes.

Local planning framework instruments that may amend or replace provisions of the R-Codes include **schemes**, **local planning policies**, **precinct structure plans** and **local development plans**. The provisions of the R-Codes that may be amended or replaced by each type of local planning instrument (with or without **WAPC** approval) are identified below.

3.2 Ability of local planning frameworks to modify R-Codes

The **decision-maker** shall not adopt a **local planning framework** instrument that modifies the R-Codes Volume 1 except as provided for below and as outlined in **Table 3.2a** for Part B – Low Density Code and **Table 3.2b** for Part C – Medium Density Code.

3.2.1 Local planning policy to modify R-Codes

The R-Codes recognises that there are variations across the State in terms of **local character**, community requirements, climate and the environment. **Local planning policies** may be used to facilitate contextually appropriate design within a local government area.

A local government may adopt a **local planning policy** that amends or replaces a **deemed-to-comply** provisions of the R-Codes Volume 1 subject to satisfying sections **3.2.1a – 3.2.1d** and **Tables 3.2a** and **3.2b**.

3.2.1a Local planning policy preparation

Where **WAPC** approval is not required under **Table 3.2a** or **Table 3.2b**, a **local planning policy** that proposes to amend or replace a **deemed-to-comply** provision should be prepared, advertised and adopted in accordance with Division 2 of Part 2 in Schedule 2 of the Regulations.

Where **WAPC** approval is required under **Table 3.2a** or **Table 3.2b**, a **local planning policy** that proposes to amend or replace a **deemed-to-comply** provision should be prepared in accordance with Division 2 of Part 2 in Schedule 2 of the Regulations and follow the procedures set out in sections **3.2.1b – 3.2.1d**.

3.2.1b WAPC consideration

Prior to commencing advertising of the **local planning policy**, the local government shall provide the **WAPC** with a copy of the proposed local planning policy and a written statement detailing:

- i. the rationale for the proposed modification to the R-Codes Volume 1;
- ii. the extent to which the proposed modification meets criteria **(i) – (iv)** set out under section 3.4 *WAPC approval*; and
- iii. any other matter the local government considers relevant.

Within 21 days of receiving notification of the proposed **local planning policy**, the **WAPC** shall consider the proposal and accompanying statement, and advise the local government of any modification required to the local planning policy before it is advertised.

The **WAPC** must be satisfied that the proposed modification to the **deemed-to-comply** provision(s) is consistent with criteria **(i) to (iv)** set out under section 3.4 *WAPC approval*.

3.2.1c Advertising of draft local planning policy

A local government that has not received advice from the **WAPC** within 21 days of notifying the **WAPC** under section **3.2.1b** may advertise the **local planning policy** as if **WAPC** had provided advice that no modification is required.

Following completion of the advertising period, the local government is to provide the **WAPC** with a copy of the proposed policy, including any modifications made following the expiry of the submission period, before making a resolution under cl.4(3), part 2 of Schedule 2 of the Regulations.

3.2.1d WAPC determination

The local government must not resolve to commence operation of the policy until approval of the **WAPC** has been granted under cl.4(3A), part 2 in Schedule 2 of the Regulations.

Within 42 days of receiving the proposed **local planning policy**, including any modifications made following the expiry of the submission period, the **WAPC** will determine whether to:

- i. advise the local government that it approves the local planning policy with no further modification; or
- ii. advise the local government that it approves the local planning policy subject to minor specified modifications; or
- iii. advise the local government that it does not approve the local planning policy without further modification being made.

Where the **WAPC** provides advice under (i) or (ii) above, the local government may resolve to proceed with the **local planning policy** and complete the requirements of cl.4, part 2 in Schedule 2 of the Regulations.

Where the **WAPC** provides advice under (iii) above, the local government may determine that the changes are major and re-advertise the **local planning policy** as though the WAPC had provided advice under provision 3.2.1b.

3.2.2 Precinct structure plans may modify R-Codes

A **precinct structure plan** may amend or replace a **deemed-to-comply** provision of the R-Codes in the circumstances provided for in **Tables 3.2a** and **3.2b**.

Where a **precinct structure plan** proposes to amend or replace a **deemed-to-comply** provision of the R-Codes, the proponent shall include the following information, in addition to the requirements of cl. 16, part 4 of Schedule 2 of the Regulations:

- i. the rationale for the proposed modification to the R-Codes; and
- ii. extent to which the proposed modification meets criteria (i) – (iv) set out under section 3.4 *WAPC Approval*.

3.2.3 Local development plans may modify R-Codes

Local development plans guide and coordinate **development** outcomes that are appropriate to **site** context and identified development opportunities and constraints. As an instrument to principally coordinate development, local development plans should not be used for the sole purpose of amending or replacing a **deemed-to-comply** provision(s) of the R-Codes.

Local development plans may amend or replace a **deemed-to-comply** provision of the R-Codes subject to satisfying sections 3.2.3a – 3.2.3d and **Tables 3.2a** and **3.2b**.

3.2.3a Local development plan preparation

A **local development plan** that proposes to amend or replace a **deemed-to-comply** provision of the R-Codes should be prepared in accordance with part 6, Schedule 2 of the Regulations.

Where **WAPC** approval is required in **Table 3.2a** or **Table 3.2b**, prior to commencing advertising, the **decision-maker** shall provide the WAPC with a copy of the proposed **local development plan** and a written statement detailing:

- i. the rationale for the proposed modification to the R-Codes Volume 1;
- ii. the extent to which the proposed modification meets criteria (i) – (iv) set out under section 3.4 *WAPC approval*; and
- iii. any other matter the local government considers relevant.

3.2.3b WAPC consideration

Within 21-days of receiving notification of the proposed **local development plan**, the **WAPC** shall consider the proposal and accompanying statement, and advise the local government of any modification required to the local development plan before it is advertised.

The **WAPC** must be satisfied that the proposed modification to the **deemed-to-comply** provision(s) is consistent with criteria (i) to (iv) set out under section 3.4 *WAPC approval*.

3.2.3c Advertising of draft local development plan

A local government that has not received advice from the **WAPC** within 21-days of notifying the WAPC of the proposed **local development plan**, may advertise the local development plan as if the WAPC had provided advice that no modification is required.

3.2.3d WAPC determination

Within 42 days of receiving the proposed **local development plan**, including any modifications made to the local development plan following the expiry of the submission period, the **WAPC** will determine whether to:

- i. advise the local government that it approves the local development plan with no further modification; or
- ii. advise the local government that it approves the local development plan subject to minor specified modifications; or
- iii. advise the local government that it does not approve the local development plan without further modification being made.

Where the **WAPC** provides advice under (i) or (ii) above, the local government may resolve to proceed with the **local development plan** as provided for in cl.52, part 6 of Schedule 2 of the Regulations.

Where the **WAPC** provides advice under (iii) above, the local government may determine that the changes are major and re-advertise the **local development plan** as though the WAPC had provided advice under section 3.2.3b.

A **local development plan** shall not come into effect until the approval of the **WAPC** has been granted in accordance with this provision.

Table 3.2a Scope of modifications by Local Planning Frameworks relating to Part B – Low Density Code

Part B - Low Density Code		Local planning framework instrument		
Element	Clause reference	Precinct Structure Plan	Local Planning Policy	Local Development Plan
5.1.1 Site area	All clauses			
5.1.2 Street setback	All clauses			
5.1.3 Lot boundary setback	C3.1			
	C3.2 to C3.3			
5.1.4 Open space	All clauses			
5.1.5 Communal open space	All clauses			
5.1.6 Building height	All clauses			
5.2.1 Setback of garages and carports	All clauses			
5.2.2 Garage width	All clauses			
5.2.3 Street surveillance	All clauses			
5.2.4 Street walls and fences	All clauses			
5.2.5 Sight lines	All clauses			
5.2.6 Appearance of retained dwelling	All clauses			
5.3.1 Outdoor living areas	All clauses			
5.3.2 Landscaping	All clauses			
5.3.3 Parking	All clauses			
5.3.4 Design of car parking spaces	All clauses			
5.3.5 Vehicular access	All clauses			
5.3.6 Pedestrian access	All clauses			
5.3.7 Site works	All clauses			
5.3.8 Retaining walls	All clauses			
5.3.9 Stormwater management	All clauses			

		Local planning framework instrument		
Element	Clause reference	Precinct Structure Plan	Local Planning Policy	Local Development Plan
5.4.1 Visual privacy	All clauses			
5.4.2 Solar access for adjoining sites	All clauses			
5.4.3 Outbuildings	All clauses			
5.4.4 External fixtures	All clauses			
5.5.1 Ancillary dwellings	All clauses			
5.5.2 Aged or dependent persons' dwellings	C2.1 (i), (iii) – (vi), C2.2, C2.3			
	C2.1 (ii)			
5.5.3 Single Bedroom dwellings	All clauses			

Legend

Provision (or sub-clause) may be modified without WAPC approval

Provision only to be modified with WAPC approval

Table 3.2b Scope of modifications by Local Planning Frameworks relating to Part C – Medium Density Code

Part C - Medium Density Code		Local planning framework instrument		
Element	Clause reference	Precinct Structure Plan	Local Planning Policy	Local Development Plan
1.1 Site area	All clauses			
2.1 Primary garden area	All clauses			
2.2 Private open space	All clauses			
2.3 Trees, deep soil area and landscaping	All clauses		Regional LG only	
2.4 Communal open space	All clauses			
2.5 Water management and conservation	All clauses			
3.1 Primary living space	All clauses			
3.2 Solar access and natural ventilation	C3.2.1, C3.2.3 and C3.2.4 only		Regional LG only	
	All other clauses			
3.3 Size and layout of dwellings	All clauses			
3.4 Parking	C3.4.3 only		Regional LG only	
	All other clauses			
3.5 Storage	All clauses			
3.6 Waste management	All clauses			
3.7 External fixtures	All clauses			
3.8 Outbuildings	All clauses			
3.9 Universal design	All clauses			
3.10 Ancillary dwellings	All clauses			
3.11 Small dwellings	All clauses			
3.12 Aged and dependent persons' dwellings	C3.12.1(ii) only			
	All other clauses			
3.13 Housing on lots less than 100m ²	All clauses			

		Local planning framework instrument		
Element	Clause reference	Precinct Structure Plan	Local Planning Policy	Local Development Plan
4.1 Site cover	23.5 mm			
4.2 Building height	All clauses			
4.3 Lot boundary setbacks	All clauses			
4.4 Site works and retaining walls	All clauses		Regional LG only	
4.5 Streetscape	All clauses			
4.6 Street setbacks	All clauses			
4.7 Vehicle and pedestrian access	C4.7.1 only			
	C4.7.3 to C4.7.5 only		Regional LG only	
	All other clauses			
4.8 Communal streets	C4.8.4 only			
	All other clauses			
4.9 Street fences	All clauses			
4.10 Retaining existing dwellings	All clauses			
4.11 Solar access for adjoining sites	All clauses			
4.12 Visual privacy	All clauses			

Legend

 Provision (or sub-clause) may be modified without WAPC approval

 Regional LG only Provision (or sub-clause) may be modified without WAPC approval by local governments located outside of Perth and Peel Region.

 Provision only to be modified with WAPC approval

3.3 Planning schemes

Local planning schemes may introduce clauses that amend, replace or exclude any provision of the R-Codes as provided for in the Regulations.

A proposed planning **scheme** provision to amend, replace or otherwise modify any R-Code provision should be consistent with the objectives of the R-Codes in section 1.3 *General Objectives of the R-Codes* and have regard to the objectives of the relevant design elements.

3.4 WAPC approval

Where **WAPC** approval is required for a modification to a **deemed-to-comply** provision by means of a **local planning policy**, **precinct structure plan** or **local development plan**, it must be demonstrated to the satisfaction of the WAPC that the modification:

- i. is warranted due to a specific need identified by the **decision-maker** related to that particular locality or region;
- ii. is consistent with the design element objectives and **design principles** of the R-Codes Volume 1;
- iii. is capable of being implemented through the **local planning framework** instrument; and
- iv. is consistent with orderly and proper planning.

3.5 Local planning framework transitional arrangements

3.5.1 Transitional arrangement for local planning policies

3.5.1a Local planning policy not requiring WAPC consent

A properly adopted **local planning policy** that became operational prior to gazettal of the R-Codes Volume 1 (*XX-2021*), and that amends or replaces a provision identified under **Table 3.2a** or **Table 3.2b** as not requiring **WAPC** consent to be modified, shall continue to have effect.

3.5.1b Local planning policy requiring WAPC consent

A **local planning policy** that amends or replaces a **deemed-to-comply** provision that is identified as requiring **WAPC** consent under **Table 3.2a** or **Table 3.2b**, shall require the approval of the WAPC to remain operational after the gazettal date of the R-Codes Volume 1 (*XX-2021*). This approval shall be obtained by following the requirements of **3.5.1c**.

3.5.1c Transitional local planning policy approval

Within three months of the gazettal date of the R-Codes Volume 1, the local government shall conduct an audit of its operational **local planning policies** that amend or replace a **deemed-to-comply** provision of the R-Codes Volume 1 and that require **WAPC** consent to amend or vary under section **3.5.1b** and shall identify any local planning policy for which the approval of the WAPC has previously been obtained.

For each **local planning policy** audited, the local government shall recommend whether it proposes to:

- i. repeal the local planning policy and proceed to do so as provided for in cl.6, part 2 in Schedule 2 of the Regulations;
- ii. amend the local planning policy as provided for in cl. 5, part 2 in Schedule 2 of the Regulations and identify whether or not the proposed amendment removes the requirement for **WAPC** consent; or
- iii. retain the local planning policy without amendment.

Within 21 days of forming the above recommendation, the local government shall report to the **WAPC** advising of its intentions for the **local planning policies** that are recommended to be amended (and require WAPC consent) or retained, and provide appropriate justification.

Within 60 days of receiving the local government report, the **WAPC** shall determine whether to support the local government recommendations, with or without amendment, and advise the local government accordingly. Where the WAPC is satisfied with the justification provided, an existing **local planning policy** that has previously received its approval may continue to operate for the period determined by the WAPC.

Within three months of receiving the **WAPC** advice, or a longer time agreed in writing by the WAPC, the local government shall carry out the WAPC advice in relation to its **local planning policies**.

A **local planning policy** that amends or replaces a **deemed-to-comply** provision of the R-Codes and that requires **WAPC** consent under **cl.3.5.1b**, will cease to have effect if that local planning policy has not been granted WAPC consent within a period of 12 months from the gazettal date of the R-Codes, unless a longer time has been agreed in writing by the WAPC.

3.5.2 Transitional arrangements for structure plans and activity centre plans

3.5.2a Transitional arrangements for structure plans

A **structure plan** (now referred to as a **standard structure plan**) approved by the **WAPC** before the commencement day of the Regulations that varies a **deemed-to-comply** provision of the R-Codes Volume 1, shall continue to have effect until the expiration of the approval period for that structure plan.

3.5.2b Transitional arrangements for activity centre plans

A properly adopted **activity centre plan** (now referred to as a **precinct structure plan**) approved by the **WAPC** prior to the gazettal date the R-Codes Volume 1 (*XX-2021*) and that varies a **deemed-to-comply** provision of the R-Codes Volume 1, shall continue to have effect until the expiration of the approval period for that **structure plan**.

3.5.3 Transitional arrangements for local development plans

An adopted **local development plan** that came into effect prior to the gazettal date the R-Codes Volume 1 (*XX-2021*) and that varies a **deemed-to-comply** provision of the R-Codes Volume 1, shall continue to have effect until the expiration of the approval period for that local development plan.

PART B

Low Density Code

For all single houses, grouped dwellings and multiple dwellings in areas coded less than R30, please refer to gazetted R-Codes Volume 1.

It is intended that following finalisation and gazettal of Part C – Medium Density Code, the existing R-Codes Volume 1, Part 5 provisions and accompanying figures will be consolidated into Part B: Low Density Code; integrating the design standards for low and medium density housing into this single document.



PART C

Medium Density Code

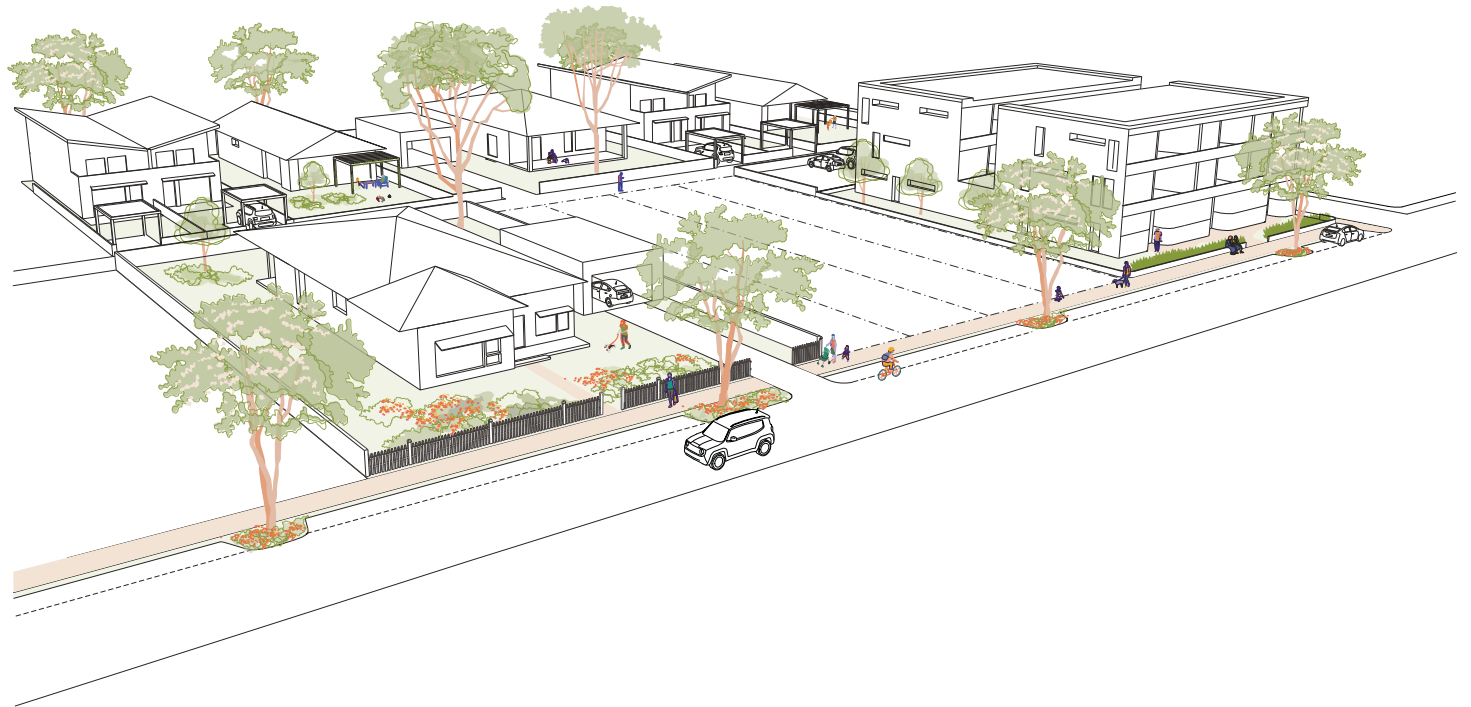
1.0	LAND	13
2.0	THE GARDEN	18
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4.0	NEIGHBOURLINESS	39
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1.0 LAND

OBJECTIVES

- 1A** To provide for a consistent and coordinated approach to residential built form and **development**.
- 1B** To ensure that **residential development** meets community expectations in regard to appearance, use and density.
- 1C** To promote a range of **lot** sizes to support housing diversity and a variety of built form typologies.



1.1 Site area

1.1 Site area

Table A Site area requirements

R-Code	Dwelling type	Site area per dwelling (m²)		
		Site Category 1 (refer C1.1.2)	Site Category 2 (refer C1.1.3)	Site Category 3 (refer C1.1.4)
For residential development in areas coded R25 and below, refer to R-Codes Vol.1, Part B				
R30	Single house and Grouped dwelling	Min 260 Ave 300	Min 220 Ave 260	Min 180 Ave 220
	Multiple dwelling	Ave 300	Ave 260	Ave 220
R35	Single house and Grouped dwelling	Min 220 Ave 260	Min 180 Ave 220	Min 160 Ave 180
	Multiple dwelling	Ave 260	Ave 220	Ave 180
R40	Single house and Grouped dwelling	Min 180 Ave 220	Min 160 Ave 180	Min 120 Ave 150
	Multiple dwelling	Ave 115	Ave 100	Ave 85
R50	Single house and Grouped dwelling	Min 160 Ave 180	Min 120 Ave 150	Min 100 Ave 120
	Multiple dwelling	Ave 100	Ave 85	Ave 85
R60	Single house and Grouped dwelling	Min 120 Ave 150	Min 100 Ave 120	NA
	Multiple dwelling	Ave 85	NA	NA
R80	Single house and Grouped dwelling	Min 100 Ave 120	NA	NA
	Multiple dwelling	Refer R-Codes Vol. 2	NA	NA
R100 (refer C1.1.9)	Single house and Grouped dwelling	Min 80 No ave applies	NA	NA
	Multiple dwelling	Refer R-Codes Vol. 2	NA	NA
Notes: R80 site area requirements apply to all single house or grouped dwellings located on lots coded R100, R160 and R-AC, with the exception of lots that meet the criteria of C.1.1.9, which may apply R100 site area requirements.				

1.1 Site area (cont.)

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P1.1.1** Development of the type and density indicated by the density code designated in the **scheme**.
- P1.1.2** The **WAPC**, in consultation with the local government, may approve the creation of a **lot**, **survey-strata lot** or **strata lot** of a lesser minimum and/or average **site area** than that specified in **Table A** provided that the proposed variation would be no more than five per cent less in area than that specified in **Table A** and will:
- facilitate the protection of an environmental or heritage feature;
 - facilitate the retention of a significant element that contributes toward an existing **streetscape** worthy of retention;
 - facilitate the **development** of lots with separate and sufficient **frontage** to more than one public **street**;
 - overcome a special or unusual limitation on the development of the land imposed by its size, shape or other feature;
 - allow land to be developed with housing of the same type and form as land in the vicinity and which would not otherwise be able to be developed; or
 - achieve specific objectives of the **local planning framework**.
- P1.1.3** The **WAPC**, in consultation with the local government, may approve the creation of a **green title lot**, **survey-strata lot** or **strata lot** for an existing authorised **grouped dwelling** or **multiple dwelling development** of a lesser minimum and average **site area** than that specified in **Table A**, where, in the opinion of the **WAPC** or the local government, the development on the resulting **survey-strata** or **strata** lots is consistent with the objectives of the relevant design elements of the **R-Codes**, and the orderly and proper planning of the locality.

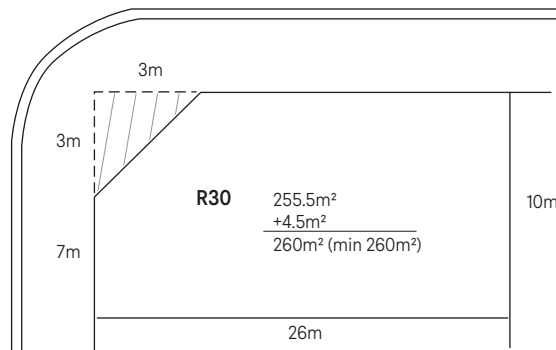
DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Minimum and average site area

- C1.1.1** Development which complies with the **dwelling** type and **site area** requirements set out in *Site Category 1, 2 or 3 of Table A* and the following provisions.
- C1.1.2** All **residential development** is to comply with the minimum and average **site area** requirements for *Site Category 1 of Table A* unless the proposed **development** is eligible for *Site Category 2 or 3* or as otherwise provided for in the **scheme**.
- C1.1.3** *Site Category 2* minimum and average **site area** requirements of **Table A** can be applied where:
- the **development** is within *Location A*;
 - development is proposed on a:
 - corner lot** or a **through-lot**;
 - mid-block **lot** with rear access to a public **right-of-way** with a constructed **laneway**; or
 - lot with a minimum area of 1,200m² (which may be achieved through the amalgamation of two or more lots); and
 - for **single houses** and **grouped dwellings**, all **dwellings** are to have a primary individual **frontage** to a public **street**.
- C1.1.4** *Site Category 3* minimum and average **site area** requirements of **Table A** can be applied where:
- the **development** is within *Location A*;
 - development is proposed on a:
 - corner lot** with a minimum of two **street frontages**; and
 - lot** with a minimum area of 1,500m² (which may be achieved through the amalgamation of two or more lots);
 - for **single houses** and **grouped dwellings**, all **dwellings** are to have a primary individual **frontage** to a public **street**; and
- a **local development plan** has been approved by the local government that coordinates development and addresses the following:
 - building** envelopes, including ground floor and upper floor **setbacks**, maximum **building height**, and **boundary wall** locations, length and height;
 - streetscape**, pedestrian access, fencing, façade and front elevation treatments;
 - vehicle access and parking, including vehicle access points, and parking location and form;
 - landscaping** including the location of **primary garden areas**, **deep soil areas**, provision of trees, and trees identified for retention; and
 - minimum development standards which shall include:
 - all dwellings to be a minimum two **storeys**;
 - all dwellings to exceed the minimum **NATHERS** requirement by 0.5 stars;
 - a minimum of 50% of dwellings to achieve the silver level **universal design** or above (refer **C3.9.1**); and
 - minimum ceiling height of 2.7m for all **habitable rooms**.

1.1 Site area (cont.)



Truncation area may be included refer C1.1.8i

Figure 1.1a Site area truncations

R40 site area requirements
(min 180m² avg 220m²)

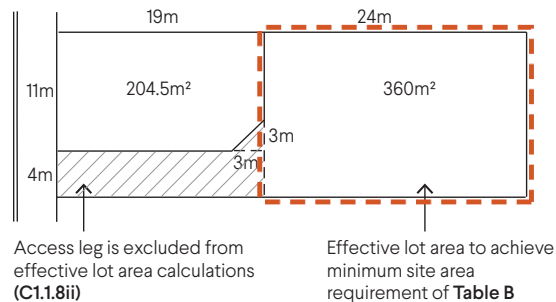


Figure 1.1b Effective lot area

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Minimum and average site area (cont.)

*Notes: Site Category 2 and 3 relates to minimum and average **site area** requirements only. All other **development** provisions of the allocated R-Code apply.*

*For Site Category 3, amendments to **deemed-to-comply** through a **local development plan** are limited to elements identified in Table 3.2b of Part A, R-Codes Volume 1.*

¹LOCATION A includes all land located within:

- 800m of a train station on a high-frequency rail route, measured in a straight line from the pedestrian entry to the train station platform to any part of a lot;
- 250m of a high-frequency bus route, or multiple bus routes that if combined have timed stops every 15 minutes during weekday peak periods (7 – 9am and 5 – 7pm), measured in a straight line from along any part of the bus route to any part of the lot; and/or
- the defined boundaries of an **activity centre**.

C1.1.5 For dual coded **development sites** that are eligible for *Site Category 2 or 3*, the minimum and average **site area** requirements of **Table A** shall apply to the lower density code applicable to that **site**.

Calculation of minimum and average site areas

C1.1.6 The minimum **site area** set out in **Table A** is calculated as follows:

- i. in the case of a **single house**, the area of a **green title lot** or **survey-strata lot**;
- ii. in the case of a **grouped dwelling**, the area of land occupied by the **dwelling** itself, together with all other areas whether contiguous or not, designated for the exclusive use of the occupants of that dwelling; or
- iii. in the case of **multiple dwellings** in areas with a coding of R60 or less, the total area of the **lot** divided by the number of dwellings.

Site area variations

C1.1.7 Subject to **C1.1.2** only, the following variations to the minimum and average **site area** set out in **Table A** may be made:

- i. for an **aged** or **dependent persons' dwelling** or a **small dwelling** that is the subject of a **development** proposal in areas coded R50 or less, the *Site Category 1* minimum and average site area may be reduced by up to 35%, in accordance with elements 3.11 and 3.12;
- ii. in the case of a **single house, grouped dwelling** or **multiple dwelling**; the area of a **lot, survey-strata lot** or **strata lot** approved by the **WAPC**; or
- iii. the area of any existing lot, survey-strata lot or strata lot with permanent legal access to a public road, notwithstanding that it is less than that required in **Table A**.

C1.1.8 Notwithstanding, **C1.1.1** to **C1.1.5**, the following adjustments to the minimum and average **site areas** set out in **Table A** apply:

- i. in the case of a **lot** with a corner truncation to a public **street**, up to a maximum of 20m² of that truncation shall be added to the area of the adjoining lot, **survey-strata lot** or **strata lot** as the case may be (refer **Figure 1.1a**); or
- ii. in the case of a **battleaxe lot**, the vehicle and/or **pedestrian access leg** and associated truncations shall be excluded from the calculation of minimum site area to achieve an **effective lot area** consistent with the minimum site area required in **Table A** (refer **Figure 1.1b**).

1.1 Site area (cont.)

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Lots less than 100m²

- C1.1.9** Lots may be created less than 100m² and to a minimum 80m² **site area** subject to the following criteria:
- i. the lots are located in areas coded R100;
 - ii. an approved **local development plan** is in place for the **development** that is consistent with **C3.13.1** and addresses the following:
 - a. **building** envelopes including ground floor and upper floor **setbacks**, maximum **building height**, **boundary wall** locations, length and height, and **site cover**;
 - b. floor and elevation plans;
 - c. **streetscape**, pedestrian access, fencing, façade and front elevation treatments;
 - d. **landscaping** including location of **primary garden areas**, **deep soil areas**, provision of trees, and trees identified for retention;
 - e. vehicle access and parking, including vehicle access points, parking location and form;
 - f. water management and water sensitive urban design mechanisms;
 - g. waste collection and location of services, utilities and fixtures;

- iii. the lots do not form the majority lot and development type in the same **street** block;
- iv. the lots are located in areas that have an approved **structure plan** in place prior to subdivision or development occurring; and
- v. the lots are in locations deemed appropriate for this form of development through the structure plan process.

*Note: Amendments to **deemed-to-comply** through a **local development plan** are limited to elements identified in **Table 3.2b** of Part A, R-Codes Volume 1.*

2.0 THE GARDEN

OBJECTIVES

- 2A** To ensure **dwellings** are provided with outdoor **amenity** and an attractive outlook.
- 2B** To support tree retention and re-establishment of the urban tree canopy.
- 2C** To enable **sustainable** house designs that reduce demand for powered heating and cooling systems by incorporating climate appropriate **solar access** and **natural ventilation**.
- 2D** To ensure that **landscape** design responds to the key natural features and landscape character of the location.
- 2E** To effectively manage **stormwater**, reducing potential for flooding and to reduce the impact of urban **development** on natural water flows and ecosystem health.



- 2.1 Primary garden area
- 2.2 Private open space
- 2.3 Trees, deep soil area and landscaping
- 2.4 Communal open space
- 2.5 Water management and conservation

2.1 Primary garden area

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P2.1.1** Single house and grouped dwellings incorporate a **primary garden area** of sufficient size and dimensions to support:
- i. the planting of trees and **landscaping**; and
 - ii. provision of a useable and functional outdoor space.
- P2.1.2** A **primary garden area** is sited to respond to climatic conditions and allow for **solar access** and **natural ventilation** into the **dwelling**.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Primary garden area – single houses and grouped dwellings only.

- C2.1.1** A single consolidated **primary garden area** provided for each **dwelling** in accordance with **Table 2.1a**.
- C2.1.2** In **climate zones 4, 5 and 6**, the **primary garden area** is located in the **northern half of the site** (refer **Figure 2.1a**). The **primary garden area** is to be located in the **street setback area** only where it is necessary to achieve this northern location.

*Note: No orientation requirements apply to **primary garden areas** located in **climate zones 1 and 3**.*

Table 2.1a Primary garden area requirements

Site area	Minimum primary garden area (per dwelling)	Minimum dimension
Less than 120m ²	20m ²	3m
120-150m ²	30m ²	4m
Greater than 150m ²	40m ²	4m

Notes: **Deep soil area** may form part of the minimum **primary garden area** (refer **Figure 2.1b**)

Minimum dimension refers to the minimum length and width of all areas that contribute to the **primary garden area**.

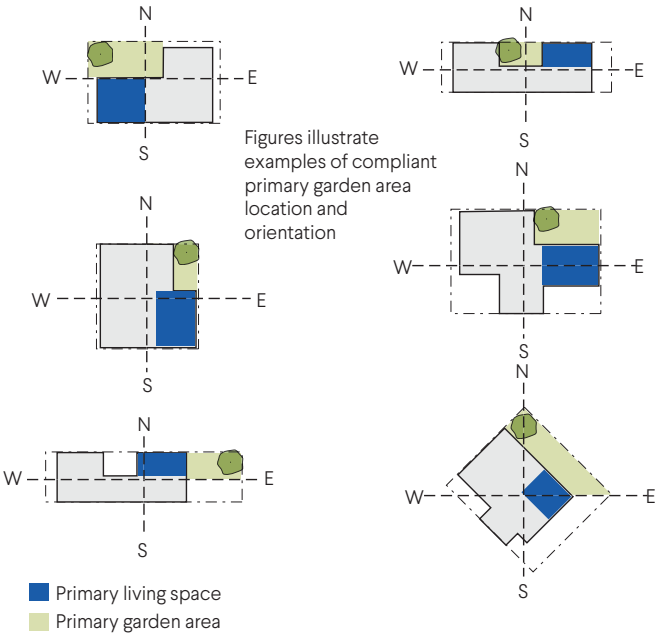


Figure 2.1a Location and orientation of primary garden area

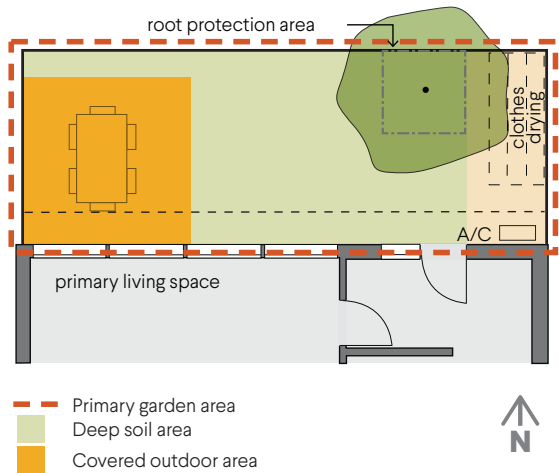


Figure 2.1b Primary garden area

2.2 Private open space

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P2.2.1** Each **multiple dwelling** is designed to have direct access to **private open space** that is of sufficient size to be used by the intended number of **dwelling** occupants.
- P2.2.2** **Private open space** is sited, oriented and designed to enhance liveability for occupants, including climate appropriate consideration of **solar access** and **natural ventilation**.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Private open space – multiple dwellings only.

- C2.2.1** A minimum of one **private open space** area provided for the exclusive use of each **multiple dwelling** in accordance with **Table 2.2a**.
- C2.2.2** **Balconies** are to be unscreened for at least 25% of the total perimeter of the balcony (refer **Figure 4.2a**).
- Note: Provisions of element 4.12 Visual privacy apply.*

Table 2.2a Private open space requirements

Dwelling type	Minimum private open space area (per dwelling)	Minimum private open space dimension
Studio/ 1 bedroom	8m ²	2.0m
2 bedrooms	10m ²	2.4m
3 or more bedrooms	12m ²	2.4m
Ground floor apartment	15m ²	3.0m

*Notes: When calculating the extent of **private open space**, exclude servicing areas such as bin storage, clothes drying, air conditioning units and the like.*

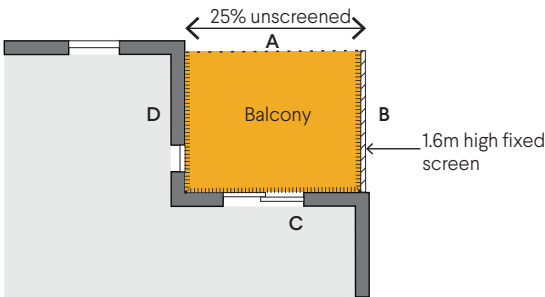
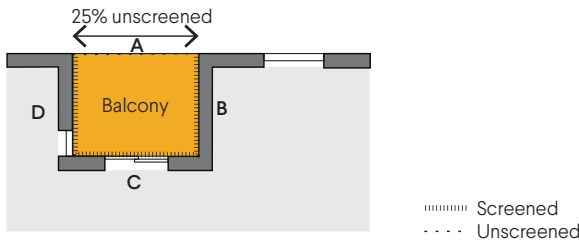


Figure 2.2a Extent of screening to private open space



Note:
Boundary perimeter length = A + B + C + D
Minimum 25% of balcony perimeter to be unscreened
Total balcony perimeter to include sides that abut building walls

2.3 Trees, deep soil area and landscaping

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P2.3.1** Site planning allows for:
- i. retention of existing trees on the subject site and adjoining properties; and
 - ii. **site-responsive** and **sustainable landscape** design.
- P2.3.2** Provision of trees and high quality landscaping enhances:
- i. the **streetscape** and pedestrian **amenity**;
 - ii. the built form;
 - iii. **communal streets**, parking and communal open spaces;
 - iv. the visual appeal and comfort of the **development**; and
 - v. the outlook from **habitable rooms**.
- P2.3.3** Development provides sufficient **deep soil area** to sustain healthy tree and plant growth, providing for an increase in tree canopy over time.
- P2.3.4** Where **deep soil area** cannot be achieved due to significant **site** constraints, **development** provides for adequate planting and **landscaping** on structures.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Deep Soil Areas

C2.3.1 Development to provide a minimum 20% of each **site area** and **common property area** (where applicable) as **deep soil area**, with the deep soil area to have a minimum dimension of 1.5m (refer **Figure 2.3a**).

*Note: Minimum dimension refers to the minimum length and width of all areas that contribute to the **deep soil area**.*

C2.3.2 Notwithstanding **C2.3.1**, where a **development** application is submitted for all **grouped dwellings** on the **parent lot**, the minimum **deep soil area** per **site** may be varied, provided that it can be demonstrated the total deep soil area allocated across the **lot** achieves 20% of the lot area.

C2.3.3 All **deep soil areas** are to be **landscaped**, consisting of a range of groundcovers, shrubs and trees in accordance with a landscaping plan.

C2.3.4 **Impervious surfaces**, including ground surface and roof cover, does not exceed 30% of each **deep soil area** and does not extend into the **root protection areas** required in **Table 2.3b** (refer **Figure 2.3a** and **b**).

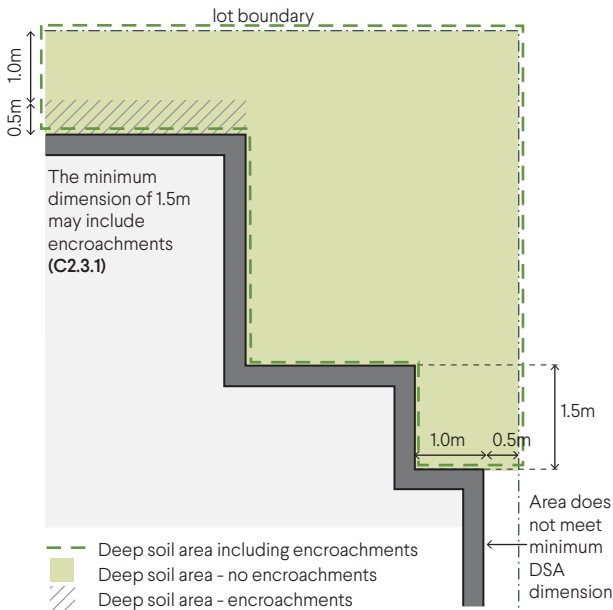


Figure 2.3a Deep soil area minimum dimensions

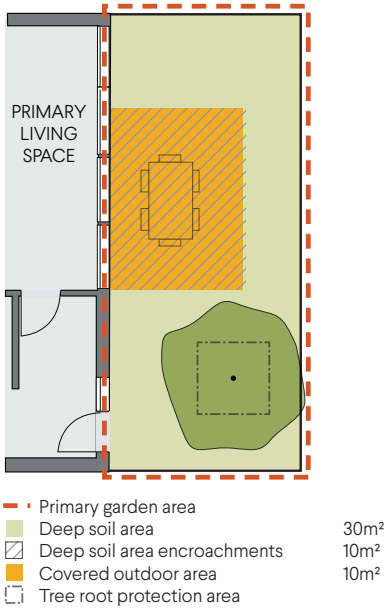


Figure 2.3b Encroachments into deep soil area

2.3 Trees, deep soil area and landscaping (cont.)

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Tree Canopy

C2.3.5 A minimum number of trees and associated **root protection areas** to be provided in accordance with **Tables 2.3a** and **b** and to be planted in the **deep soil area** as follows:

- i. for **single houses** or **grouped dwellings**, within the **primary garden area**; and
- ii. for **multiple dwellings**, within a communal deep soil area.

C2.3.6 In addition to the tree requirement of **C2.3.5**, the **street setback area** is to be **landscaped**, consisting of:

- i. a maximum 50% **impervious surfaces**; and
- ii. the minimum tree requirements in **Table 2.3c**.

C2.3.7 For **grouped** and **multiple dwellings**, uncovered **at-grade** car parking to include shade trees planted at a minimum ratio of one tree for every four car spaces, with the total required number of trees to be rounded up to the nearest whole number.

C2.3.8 Where a **significant existing tree** is retained on **site** the following concessions apply:

- i. a minimum 15% of each **site area** and **common property**; or 15% of the **lot** is to be provided as **deep soil area**; and
- ii. the **building alignment** of the **dwelling** may project into the **street setback line** a maximum of one metre, where the tree is located behind the **street setback**.

Table 2.3a Minimum tree requirements for single houses, grouped and multiple dwellings

Dwelling type		Minimum tree requirements
Single houses and grouped dwellings (trees per dwelling)		1 small tree
Multiple dwellings (trees per site)	Less than 700m ²	1 medium and 2 small trees
	700-1000m ²	2 medium trees OR 1 large tree and 2 small trees
	Greater than 1000m ²	1 large tree and 2 medium trees OR 1 large tree and 4 small trees

Table 2.3b Tree size and minimum root protection area

Tree size	Canopy diameter at maturity	Tree height at maturity	Minimum root protection area
Small	2-6m	3-8m	1.5 x 1.5m
Medium	6-9m	8-12m	3 x 3m

Table 2.3c Street setback area tree requirements

Location	Street Frontage	Minimum tree requirement in street setback area
Street setbacks less than 3m		No additional tree requirement
Street setback 3m or more	6-10m	1 small tree
	11-20m	2 small trees
	21m+	3 small trees plus 1 tree for every additional 10m of frontage ¹
<i>Notes:</i> Street setback area tree requirements is in addition to the tree requirements of C2.3.5 . ¹ Number of required trees to be rounded up to the nearest whole number.		

2.4 Communal open space

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P2.4.1** For grouped and multiple dwellings, communal open space provides:
- i. quality landscaping, trees and deep soil areas;
 - ii. safe, accessible and high amenity spaces for social interaction;
 - iii. adequate space for the intended use and functionality of the space, proportionate to the number of occupants; and
 - iv. adequate measures to mitigate against adverse amenity impacts including visual, noise and odour.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Communal open space - grouped and multiple dwellings only.

- C2.4.1** Communal open space provided in common property in accordance with Table 2.4a and to be accessible to all occupants of the development.
- C2.4.2** 50% of the area of at least one communal open space receives direct sunlight for a minimum of two hours between 9am and 3pm on 21 June.
- C2.4.3** Communal open space is separated or screened from potential sources of noise and odour, such as bins, vents, air conditioning units, and vehicle circulation areas.

Table 2.4a Provision of communal open space for grouped and multiple dwellings

Development size	Minimum communal open space requirement	Minimum communal open space dimension
Up to 10 dwellings	No requirement	
11 – 50 dwellings	6m ² per dwelling	4m
More than 50 dwellings	300m ²	4m
Notes: Communal open space can be co-located with deep soil areas.		

2.5 Water management and conservation

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P2.5.1** Flooding risk is reduced to limit the impact of major rainfall events.
- P2.5.2** Stormwater is managed on-site wherever possible either by containment or infiltration, as permitted by the soil and other site conditions, or otherwise appropriately managed prior to off-site discharge.
- P2.5.3** Development incorporates water sensitive urban design mechanisms, including site appropriate stormwater collection, retention, treatment and reuse.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C2.5.1** All water draining from roofs, driveways, communal streets and other impervious surfaces to be retained on site, with run-off directed to garden areas, rainwater tanks and soakwells, appropriate to climatic, local soil and groundwater conditions.
- C2.5.2** Notwithstanding C2.5.1, stormwater may be directed to a district or local stormwater drainage system where required by the decision-maker due to climatic, local soil or groundwater conditions.

3.0 THE BUILDING

OBJECTIVES

- 3A** To promote the **development** of a range of housing options to suit the needs of the community.
- 3B** To optimise comfortable living, **natural ventilation** and access to **sunlight** and solar energy to facilitate sustainable housing with particular regard for place and local climatic conditions.
- 3C** To ensure **dwellings** have adequately sized rooms and functional **storage** space.
- 3D** To support provision of well-considered and designed car parking that is appropriate to the location and that minimises the impact on the **development** and **streetscape**.
- 3E** To ensure ancillary structures and **service areas** are appropriately designed, located and integrated into the **development**.



INDOOR AMENITY

- 3.1 Primary living space
- 3.2 Solar access and natural ventilation
- 3.3 Size and layout of dwellings

FUNCTION

- 3.4 Parking
- 3.5 Storage
- 3.6 Waste management
- 3.7 External fixtures
- 3.8 Outbuildings

HOUSING DIVERSITY

- 3.9 Universal design
- 3.10 Ancillary dwellings
- 3.11 Small dwellings
- 3.12 Aged and dependent persons' dwellings
- 3.13 Housing on lots less than 100m²

3.1 Primary living space

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.1.1** Dwellings have a **primary living space** that is proportionate to the type and size of the dwelling and intended number of occupants.
- P3.1.2** The **primary living space** has a relationship with the **primary garden area**, **private open space** and/or public open space.
- P3.1.3** The **primary living space** addresses environmental design principles; incorporating passive solar heating, daylighting, passive cooling and shading appropriate for the climate.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Size and location

- C3.1.1** Each **dwelling** is to have one designated **primary living space** with a minimum internal dimension of 4m (refer also **C3.3.2** and **Table 3.3b**).
*Note: Minimum dimension refers to the minimum length and width of all areas that contribute to the **primary living space**.*
- C3.1.2** For **single house** and **grouped dwellings**:
 - i. where the **primary living space** is provided on the ground floor, it is to have direct physical and visual access to the **primary garden area**; or
 - ii. where the **primary living space** is provided on an upper floor, it is to have direct physical and visual access to a **private open space** area (such as a **balcony** or rooftop terrace) of a minimum dimension of 2.4m.

- C3.1.3** For **multiple dwellings**, the **primary living space** is to have direct access to **private open space** that satisfies the minimum area and dimension requirements of **Table 2.2a**.
- C3.1.4** The maximum depth of a **single aspect primary living space** shall be three times (3x) the ceiling height (refer **Figure 3.1a**).

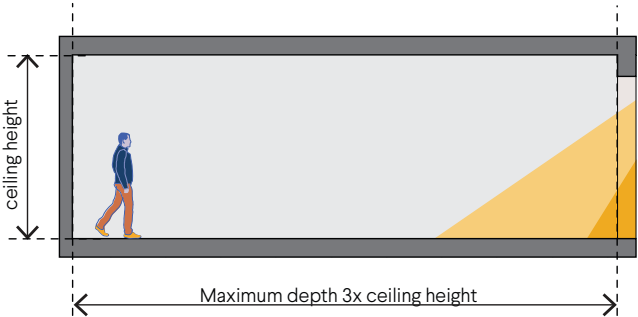


Figure 3.1a Single aspect primary living space depth and ceiling heights

3.2 Solar access and natural ventilation

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

P3.2.1 Dwellings optimise solar access and natural ventilation to habitable rooms, to facilitate sustainable design that is responsive to site and local climatic conditions.

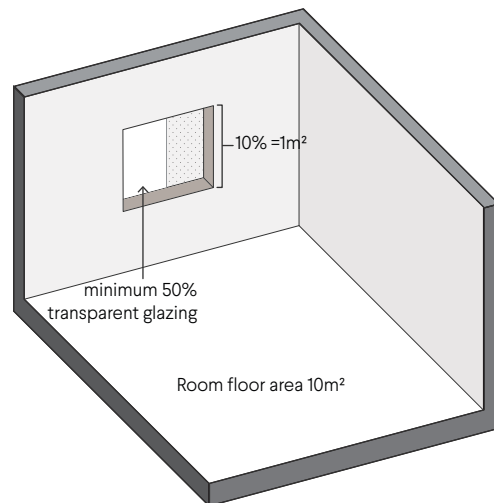


Figure 3.2a External windows to habitable rooms

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Solar access for dwellings

C3.2.1 Every habitable room has at least one external window, visible from all parts of the room, with an aggregate glazed area not less than 10% of the habitable room floor area and comprising a minimum of 50 per cent of transparent glazing (refer Figure 3.2a).

C3.2.2 Where a lightwell or courtyard is the primary source of daylight to a habitable room, the lightwell or courtyard shall have a height to width ratio of not more than 2:1.

C3.2.3 In climate zones 4, 5, and 6, the primary living space of all single houses and grouped dwellings, and at least 70% of dwellings within a multiple dwelling development, have a major opening orientated between north and east (refer Figure 3.2b) that can access at least 2 hours direct sunlight between 9am and 3pm on 21 June.

Note: No orientation requirements apply to primary living areas located in climate zones 1 and 3.

C3.2.4 Horizontal shading devices such as eaves, window hoods or fins are to be provided:

- in climate zones 4, 5 and 6, to north facing windows to a depth of 600mm; and
- in climate zones 1 and 3, to all windows to a depth of 900mm (refer Figure 3.2c).

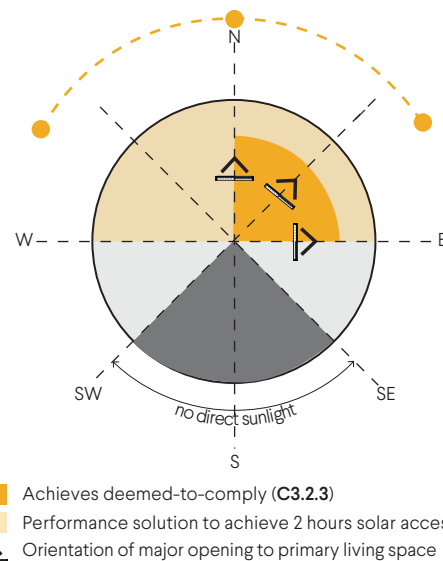


Figure 3.2b Orientation of the primary living space

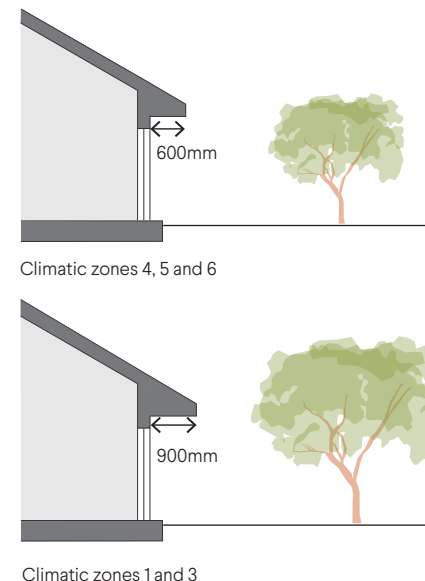


Figure 3.2c Shading to north facing primary living area windows

3.2 Solar access and natural ventilation (cont.)

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Natural ventilation

C3.2.5 Habitable rooms have at least two openings to allow for **natural ventilation**, with at least one being on an external **wall**, and separated by a straight-line distance of at least 2m from a second opening, with the distance to be measured from the centre of each opening (refer **Figure 3.2d**).

C3.2.6 Bathrooms located on external **walls** (excluding **boundary walls**) must have a minimum of one openable window for **natural ventilation**.

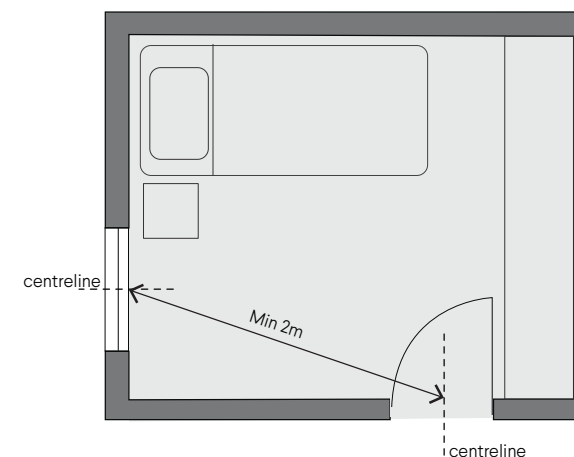


Figure 3.2d Measuring the distance between openings

3.3 Size and layout of dwellings

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.3.1** The size and layout of **dwellings** is functional and allows for flexible use, appropriate to the expected future household size.
- P3.3.2** The arrangement and layout of rooms minimises circulation space and long corridors and provides functional, efficient, high **amenity** spaces.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

- C3.3.1** Minimum internal **dwelling floor areas** are provided in accordance with **Table 3.3a**.
- C3.3.2** Minimum **habitable room floor areas** are provided in accordance with **Table 3.3b**.
- C3.3.3** Spaces within a **dwelling** for the exclusive purpose of circulation, such as hallways, corridors, stairs and internal entries, shall not exceed 10% of the internal dwelling **floor area**.

Table 3.3a Minimum internal dwelling floor areas

Dwelling type	Minimum internal floor area
Studio	36m ²
1 bed	47m ²
2 bed x 1 bath ¹	67m ²
3 bed x 1 bath ¹	90m ²
Notes: ¹ An additional 3m ² shall be provided for designs that include a second or separate toilet, and 5m ² for designs that include a second bathroom.	

Table 3.3b Minimum floor areas and dimension for habitable rooms

Habitable room type	Minimum internal floor area	Minimum internal dimension
Bedrooms	9m ²	2.7m*
Primary living space	N/A	4m
Notes: Minimum dimension refers to the minimum length and width of all areas of the habitable room . * Minimum dimension excludes built-in robes		

3.4 Parking

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.4.1** Siting and the extent of parking does not dominate the **development** or **streetscape**.
- P3.4.2** The location of parking responds to the context and **local character** of the intended **streetscape** and contributes to a unified design response by:
- i. incorporating high-quality **landscaping** to reduce visual impact;
 - ii. minimising the extent of paving for parking and vehicle access; and
 - iii. supporting efficient use of the **site**.
- P3.4.3** Adequate parking is provided for various modes of transport, including bicycles, motorcycles, scooters and cars, that has regard to the following considerations:
- i. the proximity of the proposed **development** to public transport and other facilities;
 - ii. the type, size and number of **dwellings**; and
 - iii. the availability of on-**street** and other off-street parking.
- P3.4.4** Parking spaces are designed for flexibility and adaptability having regard for:
- i. the needs of occupants, including consideration to **universally accessible** parking spaces; and
 - ii. spaces that can be used for multiple purposes including additional courtyard space.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Occupant parking – car, bicycle and motorcycle/scooter

- C3.4.1** Occupant car and bicycle parking is provided on-**site** and in accordance with **Table 3.4a** and **Table 3.4b**.
- C3.4.2** **Multiple dwelling development** of 20 or more **dwellings** to provide one motorcycle/scooter space on-**site** for every 10 car parking spaces.
- C3.4.3** Car spaces and manoeuvring areas designed and provided in accordance with AS2890.1 (as amended).

Visitor parking – applicable to grouped and multiple dwellings only

- C3.4.4** Visitor car and visitor bicycle parking for **grouped** and **multiple dwellings** provided on-**site** and in accordance with **Table 3.4c**.
- C3.4.5** A maximum two visitor car parking spaces are permitted in the **primary street setback area**.
- C3.4.6** Visitor car parking spaces to be:
- i. marked and clearly signposted as dedicated for visitor use only;
 - ii. located on **common property**;
 - iii. located outside any security barrier to be accessible to visitors at all time; and
 - iv. connected to **dwelling** entries via a **continuous path of travel**.

3.4 Parking (cont.)

Table 3.4a Minimum and maximum car parking standards

LOCATION A		Studio and 1 bedroom dwelling	2 bedroom dwelling	3 or more bedroom dwelling	Ancillary dwelling
Minimum required parking (space per dwelling)		0	0	0	0
Maximum parking permitted (space per dwelling)	Garage parking	1	1 ¹	2	1
	Carport, uncovered or basement parking	No maximum parking spaces apply			
LOCATION B		Studio and 1 bedroom dwelling	2 bedroom dwelling	3 or more bedroom dwelling	Ancillary dwelling
Minimum required parking (space per dwelling)		1	1	2	1
Maximum parking permitted (space per dwelling)	Garage parking	1	2	2	1
	Carport, uncovered or basement parking	No maximum parking spaces apply			

Notes: Tree requirements apply for uncovered **at-grade** car parking areas (**grouped** and **multiple dwellings**), refer C2.3.7.

¹A double **garage** is permitted where accessed from a **right-of-way**.

LOCATION A – includes all land located within:

- 800m of a train station on a **high-frequency rail route**, measured in a straight line from the pedestrian entry to the train station platform to any part of a **lot**;
- 250m of a high-frequency bus route, or multiple bus routes that if combined have timed stops every 15 minutes during weekday peak periods (7 – 9am and 5 – 7pm), measured in a straight line from along any part of the bus route to any part of the lot; and/or
- the defined boundaries of an **activity centre**.

LOCATION B – includes all land that is not within Location A.

Table 3.4b Minimum bicycle parking standards

	Minimum number of bicycle spaces (per dwelling)
Single house and grouped dwelling	1 per dwelling
Multiple dwelling	0.5 x the total number of dwellings
<p>Notes: Where the bicycle parking calculation results in a fraction of a space, the requirement is to be rounded up to the nearest whole number.</p> <p>(i.e. bicycle parking for 13 multiple dwellings is 13 x 0.5 = 6.5 which equates to 7 bicycle spaces.)</p>	

Table 3.4c Minimum visitor parking standards

		Minimum number of visitor spaces (per dwelling)
Visitor car parking	0 – 4 dwellings	No visitor bays required
	5 or more dwellings	0.2 x the total number of dwellings
Visitor bicycle parking	0 – 9 dwellings	No visitor bays required
	10 or more dwellings	0.1 x the total number of dwellings
<p>Notes: Where the visitor parking calculation results in a fraction of a space, the requirement is to be rounded up to the nearest whole number.</p> <p>(i.e. visitor car parking for 6 dwellings is 6 x 0.2 = 1.2 which equates to 2 visitor parking spaces.)</p>		

3.5 Storage

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

P3.5.1 Each dwelling provides adequate, conveniently located **storage** for large items, proportionate to the size of the dwelling and intended number of occupants.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

C3.5.1 Each dwelling has exclusive use of a weatherproof **storage** area in accordance with **Table 3.5a**, that is accessible from outside the dwelling via an outward opening, lockable door (refer **Figure 3.5a**).

Table 3.5a Storage requirements

Dwelling type	Minimum storage area	Minimum storage area dimension	Minimum storage area height
Studio/ 1 bedroom dwelling	3m ²	1.5m	2.1m
2 + bedroom dwelling	4m ²		

Notes: The area required for **storage** can be met by co-locating a dedicated area with a **garage** or **carport** (refer **Figure 3.5b**).

Minimum dimension refers to the minimum length and width of the **storage** area.

Dimensions and areas are exclusive of services, plant, utilities, and fixtures and facilities.

Minimum **storage** area dimension can be reduced to 0.8m where it can be demonstrated that the adjacent circulation space achieves 0.9m clearance and the minimum required storage area is still achieved (refer **Figures 3.5a** and **b**).

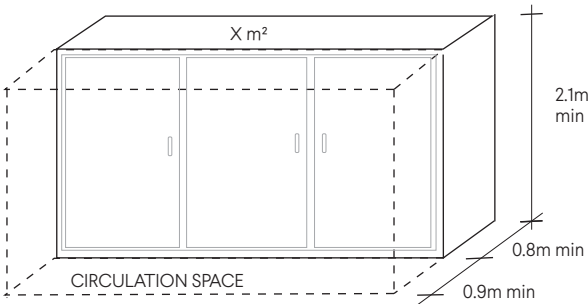


Figure 3.5a Minimum storage dimensions

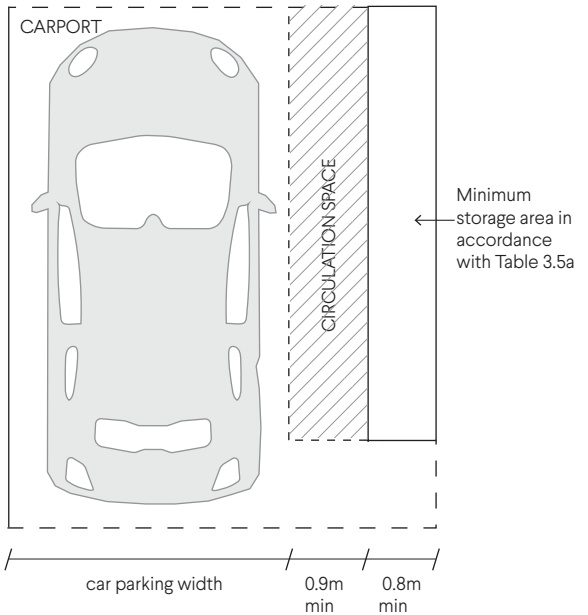


Figure 3.5b Minimum storage dimensions with adjacent circulation space

3.6 Waste Management

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.6.1** Sufficient space is provided to accommodate waste storage.
- P3.6.2** Waste management facilities are located and screened to minimise negative impacts on the **streetscape**, **building** entries and the local **amenity**.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C3.6.1** An accessible space is provided to accommodate the required number and type of waste storage bins for the **development**, in line with requirements of the local government.
- C3.6.2** Waste storage bins are screened from view from the **street**, public open space, and other areas accessible to the public.

3.7 External fixtures

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.7.1** **External fixtures** are located to support maximum functionality and to minimise noise, heat transfer and air quality impacts on **habitable rooms** and **private open space**.
- P3.7.2** The **site** is serviced with **essential service utilities** that address access, maintenance and safety considerations.
- P3.7.3** **Essential service utilities** within the **street setback area** balance operational requirements with the need to minimise the visual impact on the **streetscape**.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C3.7.1** **Essential service utilities** are located such that they:
- i. are accessible and can be safely maintained;
 - ii. maintain clear **sightlines** for vehicle access; and
 - iii. minimise the visual impact on the **streetscape**.
- C3.7.2** **Functional utilities**:
- i. are not visible from the **primary street**;
 - ii. are designed to integrate with the **development**;
 - iii. are located and/or screened so that they are not visually obtrusive and minimise the impact of noise sources to **habitable rooms** and **private open space** both on the **development site** and **adjoining properties**; and
 - iv. exclude television antennae of the standard type, essential plumbing vents above the roof line and external roof-water down pipes.
- C3.7.3** **Functional utilities** are not to be located in the **private open space**, unless integrated into the design of the **development** and/or **screened** from view.
- C3.7.4** **Sustainability infrastructure** and **functional utilities** do not need to be **screened** and are to be located to prioritise functional performance.
- C3.7.5** Where required by the **NCC**, **fire service infrastructure** is located to be visible and for unobstructed access for its required use during an emergency.

3.8 Outbuildings

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.8.1** Outbuildings do not negatively impact on the visual amenity of the streetscape or for residents of the development and neighbouring properties.
- P3.8.2** Siting of outbuildings do not compromise deep soil areas and site cover requirements.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C3.8.1** An outbuilding that:
- i. is limited to one outbuilding per dwelling site;
 - ii. has no more than two boundary walls;
 - iii. does not exceed 10m² in area;
 - iv. does not exceed a wall and ridge height of 2.7m;
 - v. is not located within the primary or secondary street setback area;
 - vi. does not exceed the maximum allowable site cover in accordance with C4.1.1; and
 - vii. does not reduce the minimum deep soil area required in accordance with C2.3.1.

Notes: Outbuildings on lot boundaries are excluded from the maximum boundary wall calculations of C4.3.5 - C4.3.8, where they comply with C3.8.1.

Outbuildings will need to comply with the NCC requirements, including but not limited to fire separation and non-combustible materials.

3.9 Universal design

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

P3.9.1 Development provides **universal housing design** or **adaptable dwellings** that are proportionate in number to the size of the development and intended occupancy.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Universal design – applies to grouped and multiple dwellings only

C3.9.1 For **grouped and multiple dwellings**, dwellings comply with the requirements of **Table 3.9a**.

Table 3.9a Universal design requirements

Number of dwellings per lot	Silver or gold level	Platinum level
1- 4 dwellings	No minimum requirement	
5 – 9 dwellings	Minimum 1 dwelling	No minimum requirement
10 or more dwellings	Minimum 20% of all dwellings ¹	Minimum 5% of all dwellings ¹
Notes: Silver, Gold and Platinum Level requirements are as defined in the Livable Housing Design Guidelines (Livable Housing Australia). ¹ Where calculations result in a fraction of a dwelling , the requirement is to be rounded up to the nearest whole number.		

3.10 Ancillary dwellings

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.10.1** Ancillary dwellings allow for diversity of housing without having an adverse impact on the amenity of:
- i. adjoining properties; and
 - ii. streetscape and local character.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Ancillary dwellings - applies to single and multiple dwellings only

- C3.10.1** An ancillary dwelling in accordance with Table 3.10a, provided that it:
- i. does not exceed a maximum of one ancillary dwelling per lot;
 - ii. does not exceed a maximum internal dwelling floor area of 70m²;
 - iii. does not reduce the minimum deep soil area required in accordance with C2.3.1; and
 - iv. complies with all other provisions of the R-Codes, with the exception of:
 - 1.1 Site area
 - 2.1 Primary garden area
 - 2.3 Trees, deep soil area and landscaping
 - 2.4 Communal open space
 - 2.5 Water management and conservation
 - 3.1 Primary living space
 - 3.3 Size and layout of dwellings
 - 3.5 Storage
 - 3.6 Waste management
 - 3.8 Outbuildings
 - 3.9 Universal design
 - 3.11 Small dwellings
 - 3.12 Aged and dependent persons' dwellings
 - 4.7 Vehicle and pedestrian access
 - 4.8 Communal streets
 - 4.10 Retaining existing dwellings

Table 3.10a Ancillary dwelling types

	Ancillary dwelling
Single house	All types of ancillary dwellings
Grouped dwelling	No ancillary dwellings permitted
Multiple dwelling	Dual key dwelling only

3.11 Small dwellings

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.11.1** Alternative and affordable housing options are provided for small households where it can be demonstrated that the **development**:
- i. is located in an area that has good access to public transport, public open space, local retailing, and other community infrastructure;
 - ii. responds to a demand for **small dwellings** in the locality which may be recognised in the **local planning framework**; and
 - iii. is consistent with the existing and/or future intended **streetscape** and **local character**.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Small Dwellings - applies to single houses and grouped dwellings only

- C3.11.1** Small dwellings shall comply with the following:
- i. a maximum internal **dwelling floor area** of 70m²;
 - ii. parking provided in accordance with **Table 3.4a**; and
 - iii. all other provisions of the R-Codes, including **Table B**.

*Note: **Small dwelling** concessions only apply to Site Category 1 **site areas**, refer to **C1.1.7(i)**.*

3.12 Aged or dependent persons' dwellings

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.12.1 Aged or dependent persons' dwellings** for the housing of aged or dependent persons designed to meet the needs of aged or dependent persons and:
- reduces car dependence, i.e. is located close to public transport and services;
 - has due regard to the topography of the locality in which the **site** is located in respect to access and mobility;
 - has due regard to the availability of community facilities including parks and open space;
 - does not impinge upon neighbour **amenity**; and
 - responds to a demand for aged or dependent persons' accommodation in the locality which may be recognised in the **local planning framework**.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

- C3.12.1 Aged or dependent persons' dwellings** for the housing of aged or dependent persons shall comply with the following:
- a maximum internal dwelling **floor area** of:
 - in the case of **single houses** or **grouped dwellings** – 100m²; or
 - in the case of **multiple dwellings** – 80m²;
 - a minimum number of five dwellings within any single **development**;
 - parking (including visitor parking) to be provided in accordance with **Tables 3.4a** and **3.4c**;
 - the first visitors' car space being a **universally accessible** car parking space and a minimum width of 3.8m in accordance with AS4299, clause 3.7.1 (as amended); and
 - comply with all other provisions of the R-Codes, including **Table B**.
- C3.12.2** All ground floor units, with a preference for all **dwellings**, to incorporate, as a minimum, the following:
- a **universally accessible** path of travel from the **street frontage**, car parking area or drop-off point in accordance with the requirements of AS4299, clause 3.3.2 (as amended); and
 - level entry to the front entry door with preferably all external doors having level entries (diagrams, Figure C1 of AS4299 [as amended]).

- C3.12.3** All **dwellings** to incorporate, as a minimum, the following:

- all external and internal doors to provide a minimum 820mm clear opening (AS4299 clause 4.3.3 [as amended]);
- internal corridors to be a minimum 1000mm wide, with width to be increased to a minimum of 1200mm in corridors with openings on side **walls**;
- a visitable toilet (AS4299, clause 1.4.12 [as amended]), preferably located within a bathroom; and
- toilet and toilet approach doors to have a minimum 250mm nib wall on the door handle side of the door and provision for the installation of grab rails in accordance with AS4299, clause 4.4.4 (h) (as amended).

- C3.12.4** At least one occupant is a person with a disability or physically **dependent person** or **aged person**, or is the surviving spouse of such a person, and the owner of the land, as a condition of **development** approval, lodging a section 70A notification (*Transfer of Land Act 1893*) on the certificate of title binding the owner, their heirs and successors in title requiring that this occupancy restriction be maintained.

*Note: Refer to **C1.1.7(i)** for **site area** concessions for **aged** and **dependent persons' dwellings**.*

3.13 Housing on lots less than 100m²

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P3.13.1** Single houses on lots less than 100m² are integrated with the **streetscape** and surrounding **development** and do not form the predominant housing type in a **street**.
- P3.13.2** Single houses on lots less than 100m² are located in high **amenity** areas with good access to public transport, local retailing, public open space and other community infrastructure.
- P3.13.3** Single houses on lots less than 100m² respond to a demonstrable need for greater housing diversity and affordable housing options in the locality.
- P3.13.4** Single houses on lots less than 100m² are designed to a high standard to contribute to the desired **streetscape** character and do not adversely impact the **amenity** of **adjoining properties**.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Housing on lots less than 100m² – applies to single houses only

- C13.3.1** Single houses on lots less than 100m² in accordance with **C11.9**, are to comply with the following:
- i. **dwellings** to front a **primary** or **secondary street** (excluding a **right-of-way**);
 - ii. a minimum of two dwellings to be constructed concurrently within any single **development**; and
 - iii. all provisions of the R-Codes and the R100 coding of **Table B** to apply, subject to the modifications in **Table 3.13a**.

Table 3.13a Modified provisions for single houses on lots less than 100m²

R-Code Element	Modified provision
2.2 Private open space	Dwellings to provide a minimum 16m ² private open space with a minimum dimension of 2.4m.
2.3 Trees, deep soil area and landscaping	A minimum of 15% of the site to be provided as deep soil area , with a minimum dimension of 1.5m.
4.2 Building height	Minimum two storey building height .
4.3 Lot boundary setbacks	Where a rear lot boundary of a proposed development abuts an adjoining property not within the plan of subdivision/ local development plan , rear boundary walls are not permitted, and development must apply the relevant lot boundary setback requirements of C4.3.1 and Table B .
4.6 Street setbacks	Nil street setback for upper floor private open space .
4.9 Street fences	Street fences to not exceed 900mm in height.

4.0 NEIGHBOURLINESS

OBJECTIVES

- 4A** To deliver **amenity** and liveability for occupants of new **development** and **adjoining properties**, with regard to **sunlight**, **solar access**, **natural ventilation** and visual privacy.
- 4B** To ensure that **development** is appropriately scaled, particularly in respect to **building** bulk and height, and is sympathetic to the scale of the **street** and surrounding buildings, or for precincts undergoing a transition, the desired future character of the area as identified in the **local planning framework**.
- 4C** To contribute to place responsive, attractive **streetscapes**.
- 4D** To ensure that safe, legible access is provided to **dwellings** for pedestrians, cyclists and vehicles.



BUILT FORM

- 4.1 Site cover
- 4.2 Building height
- 4.3 Lot boundary setbacks
- 4.4 Site works and retaining walls

CHARACTER

- 4.5 Streetscape
- 4.6 Street setbacks
- 4.7 Vehicle and pedestrian access
- 4.8 Communal streets
- 4.9 Street fences
- 4.10 Retaining existing dwellings

COMMUNITY

- 4.11 Solar access for adjoining sites
- 4.12 Visual privacy

4.1 Site cover

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.1.1** The **site cover** of the **development** is suitable for its context to:
- i. be compatible with the existing and/or desired **streetscape** and **local character**;
 - ii. ensure adequate **solar access** and **natural ventilation** into the **dwelling**;
 - iii. achieve appropriate **building** bulk on the **site**, consistent with the intent of the applicable density code and/or as outlined in the **local planning framework**;
 - iv. ensure sufficient outdoor space for **landscaping** including trees and **deep soil areas**; and
 - v. provide opportunities for residents to use space external to the dwelling for outdoor pursuits and access within and around the site.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

- C4.1.1** Development on each **site** does not exceed the maximum **site cover** percentages of **Table B**.
- C4.1.2** Notwithstanding **C4.1.1**, where a **development** application is submitted for all **grouped dwellings** on the **parent lot**, the maximum **site cover** per **site** may be varied, provided that it can be demonstrated the maximum site cover percentage of **Table B** is not exceeded across the combined sites (excluding any **common property**).

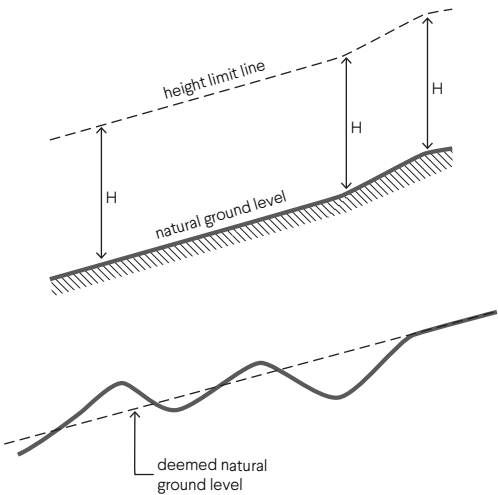
4.2 Building height

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

P4.2.1 Building height, bulk and scale is appropriate for the existing and/or desired future **streetscape** and **local character** of the area and nearby development.

P4.2.2 Building height is considerate of the impact on the **amenity** of **adjoining properties** and, where appropriate, maintain adequate **solar access** into indoor and outdoor **active habitable space** and solar collectors.



Notes
The height of a building is taken as the highest point at any part of the development immediately above natural ground level.
Where natural ground level varies across the site, deemed natural ground level is to be used.

Figure 4.2a Measuring building height and natural ground level

DEEMED-TO-COMPLY

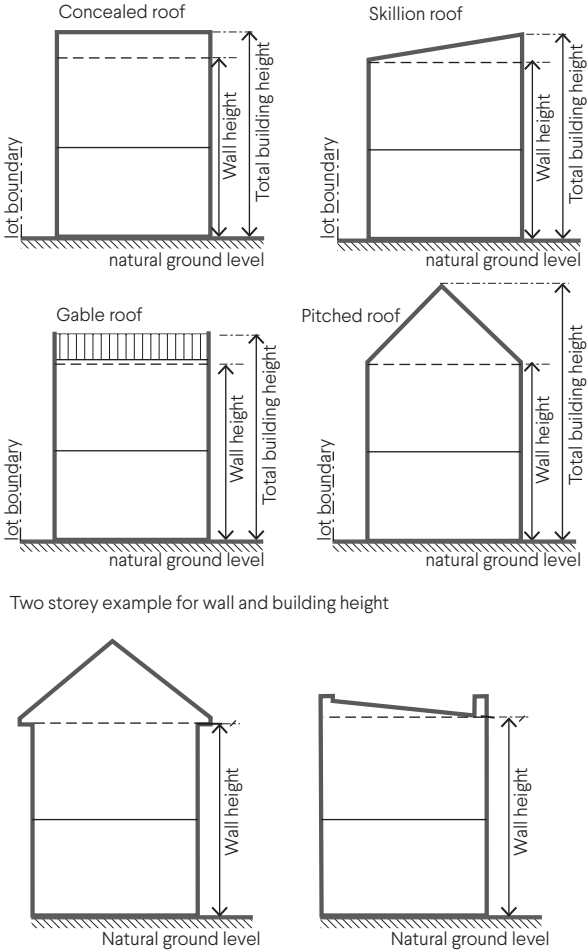
Development satisfies the following deemed-to-comply requirements (C)

C4.2.1 Building height complies with Table B and Table 4.2a.

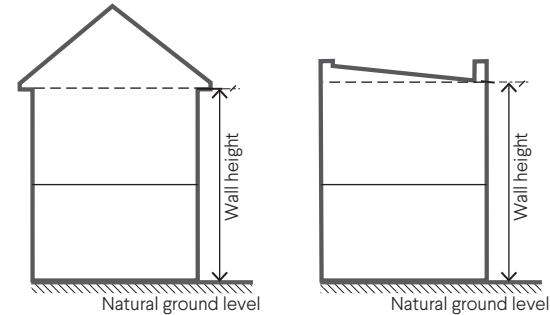
Table 4.2a Storey height in metres

Number of storeys	Maximum wall height	Maximum total building height	
		Concealed, gable or skillion roof	Pitched or hipped roof
1	3.5m	5m	7m
2	7m	8m	10m
3	9m	10m	12m
4	12m	13m	15m

Notes: Refer Figure 4.2a for building height and natural ground level measurement guidance.
Refer Figure 4.2b for wall height and total building height guidance.
Once maximum wall or building height for a nominated storey is exceeded, the additional height will be counted as an additional storey for the purpose of calculating lot boundary setbacks. Refer to Element 4.3 Lot boundary setbacks.



Two storey example for wall and building height



Wall height for buildings with eaves
Wall height for buildings without eaves

Figure 4.2b Measurement of wall height and total building height

4.3 Lot boundary setbacks

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.3.1** Lot boundary setbacks reinforce the location's streetscape character and are consistent with the existing or desired built form local character.
- P4.3.2** The setback of development from lot boundaries provides a transition between sites with different land uses or intensity of development.
- P4.3.3** Buildings are set back from lot boundaries or adjacent buildings on the same lot to:
- provide adequate solar access and natural ventilation to the building and open spaces on the site and adjoining properties; and
 - address the potential for overlooking and resultant loss of privacy on adjoining properties.
- P4.3.4** Buildings are built up to lot boundaries to:
- make more effective use of space for primary garden areas and/or private open space;
 - maintain adequate solar access to adjoining properties; and
 - positively contribute to the prevailing or future development context and streetscape as outlined in the local planning framework.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

Lot boundary setbacks

- C4.3.1** Buildings are set back from lot boundaries, adjoining rights-of-way, pedestrian access ways, communal streets and battleaxe lot access legs in accordance with Table B (refer Figure 4.3a).
- C4.3.2** Notwithstanding C4.3.1:
- for carports, patios, verandahs or equivalent structures the lot boundary setbacks prescribed in Table B may be reduced to nil to the posts where less than 10m in length and 2.7m in height, where the carport, patio, verandah or equivalent structure is located behind the primary street setback and where the eave, gutter and roof are set back at least 450mm from the lot boundary; and
 - minor projections, such as chimneys, eaves, window hoods and other architectural features, are acceptable provided they do not project more than 0.75m into the lot boundary setback.

- C4.3.3** The second storey of walls shall be set back in accordance with Table B for a maximum wall length of 14m.

For a portion of wall exceeding 14m in length:

- the wall is to be set back 3m from the lot boundary for the remainder of its length; or
- contain a minimum 3m x 3m separation measured from the lot boundary (Refer Figure 4.3b).

- C4.3.4** Separate grouped or multiple dwelling buildings on the same lot, or facing portions of the same multiple dwelling building, are to be set back from each other as though there is a lot boundary between them.

Notes: Carport, patio, verandah or equivalent structures will need to comply with the NCC requirements, including but not limited to fire separation and non-combustible materials.

Pillars and posts that with a horizontal dimension of 450mm by 450mm, or less, do not constitute a wall built up to a lot boundary.

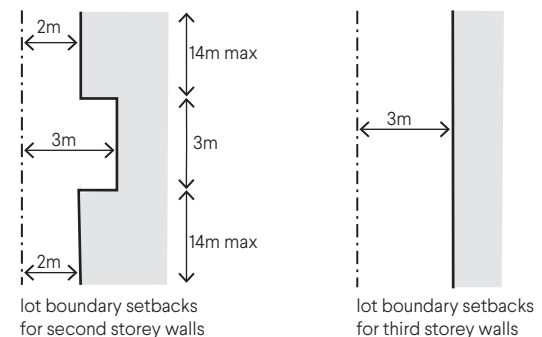
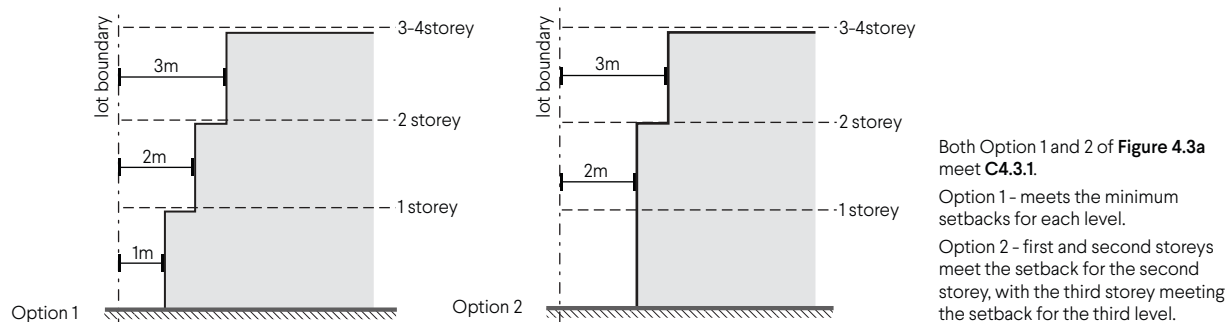


Figure 4.3a Lot boundary setbacks

Figure 4.3b Two and three storey wall setbacks

4.3 Lot boundary setbacks (cont.)

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Boundary walls

C4.3.5 Boundary walls must satisfy the requirements of *Boundary Wall Types A, B or C*.

C4.3.6 *Boundary Wall Type A* may be built behind the **street setback** in accordance with **Table 4.3a**, provided overshadowing does not exceed the limits of **C4.11.1**, **C4.11.2** and **C4.11.3** (refer **Figure 4.3c**).

C4.3.7 *Boundary Wall Type B* may be built in accordance with **Table 4.3a** (refer **Figure 4.3d** and **e**) where:

- i. both the subject **site** and adjoining site/s are created on a plan of subdivision submitted concurrently with the application for the proposed **development**;
- ii. the **lot boundary** is shared with an **adjoining property** not within the plan of subdivision or proposed development;
- iii. overshadowing does not exceed the limits of **C4.11.1**, **C4.11.2** and **C4.11.3**;
- iv. **boundary walls** are located behind the **street setback**;
- v. all **dwellings** front a public **street**; and
- vi. the boundary walls that share the same side boundary are set back an equal distance from the street.

C4.3.8 *Boundary Wall Type C* may be built in accordance with **Table 4.3a** (refer **Figure 4.3d**) where:

- i. both the subject **site** and adjoining site/s are created on a plan of subdivision submitted concurrently with the application for the proposed **development**;
- ii. the **lot boundary** is shared with an **adjoining property** within the plan of subdivision or proposed development;
- iii. overshadowing does not exceed the limits of **C4.11.1**, **C4.11.2** and **C4.11.3**;
- iv. **boundary walls** are located behind the **street setback**;
- v. all **dwellings** front a public **street**; and
- vi. the boundary walls that share the same side boundary are set back an equal distance from the street.

C4.3.9 Where the **boundary wall** abuts an existing or simultaneously constructed **wall** of similar or greater dimension, the boundary wall may exceed the requirements of **C4.3.6**, **C4.3.7** and **C4.3.8** up to the extent of height and length of the existing boundary wall.

4.3 Lot boundary setbacks (cont.)

Table 4.3a Application of boundary wall type A, B and C

Boundary wall type	A	B ¹	C ¹
Application of boundary wall type	Refer C4.3.6 and Figure 4.3c	Refer C4.3.7 and Figure 4.3d	Refer C4.3.8 and Figure 4.3d
Maximum boundary wall height (Refer also Table B)	R30 to R50 – 3.5m R60 to R100 – 7m	R30 to R35 – 3.5m R40 to R100 – 7m	R30 to R35 – 7m R40 to R50 – 9m R60 to R100 – 12m
Maximum boundary wall length	Max. two-thirds the length of the lot boundary the wall abuts. AND Max. 50% of total lot boundary behind street setback.	Max. 9m length, at which point the wall is to be set back 3m measured from the lot boundary for a minimum length of 4m (refer Figure 4.3e).	No maximum length.
<p>Notes: Where the subject site is adjacent to a site with a lower density code, the maximum wall length and height of the boundary wall between them is determined by the lower density code.</p> <p>¹ Where overshadowing does not exceed the limits of C4.11.1, C4.11.2 and C4.11.3.</p>			

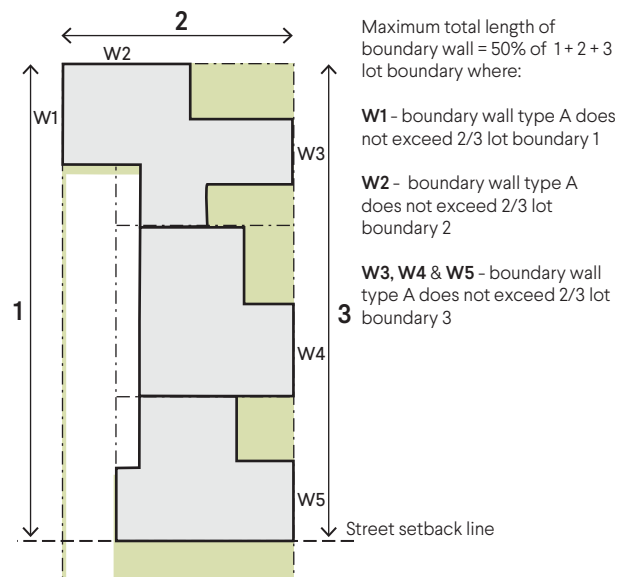


Figure 4.3c Type A boundary walls

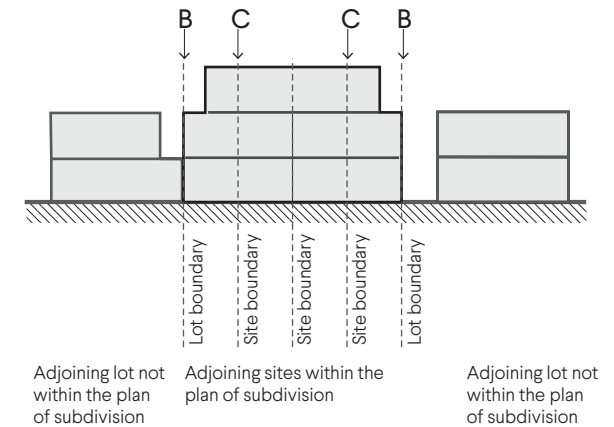


Figure 4.3d Type B and C boundary walls

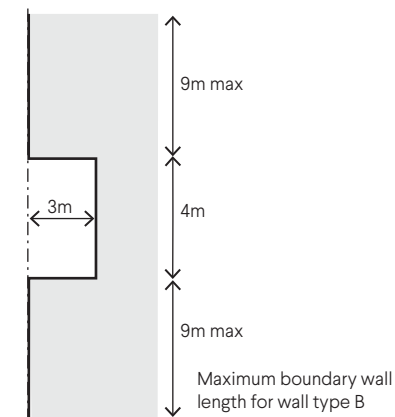


Figure 4.3e Maximum boundary wall length for type B boundary walls

4.4 Site works and retaining walls

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.4.1** Development that considers and responds to the natural features of the **site** and requires minimal excavation/fill.
- P4.4.2** Where excavation/fill is necessary, all finished levels respect the **natural ground level** at the **lot boundary** of the **site** and as viewed from the **street**.
- P4.4.2** Retaining walls that result in land which can be effectively used for the benefit of residents, do not detrimentally affect **adjoining properties** and are designed, engineered and **landscaped** having due regard to the provisions of element 4.12 *Visual privacy*.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

- C4.4.1** Retaining walls, fill and excavation in the **street setback area**, not more than 0.5m above or below the **natural ground level**, except where necessary to provide for pedestrian **universal access** and/or vehicle access, drainage works, or natural light to a **dwelling**.
- C4.4.2** Retaining walls and fill within the **site** and behind the **street setback** to comply with **Table 4.4a**.
- C4.4.3** For **single houses**, excavation within the **site** and behind the **street setback** is permitted up to a depth of 2.5m, where set back a minimum of 1m from a **lot boundary**.

Table 4.4a Setback of retaining walls and fill

Height of retaining walls and fill ¹ <i>As measured from natural ground level</i>	Setback required
0.5m or less	0m
1m	1m
1.5m	1.5m
2m	2m
2.5m	2.5m
3m +	3m
<i>Notes: Take the nearest higher value for all height calculations.</i>	
<i>¹Visual privacy provisions under Element 4.12 still apply.</i>	

4.5 Streetscape

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.5.1** The design and landscaping of the **street setback area** contributes positively to context, local character and the **sense of place** of the **street**.
- P4.5.2** The **streetscape** interface area supports safe pedestrian access for occupants and visitors.
- P4.5.3** The **building** design addresses **street frontages** and provides opportunity for **passive surveillance** and social interaction.

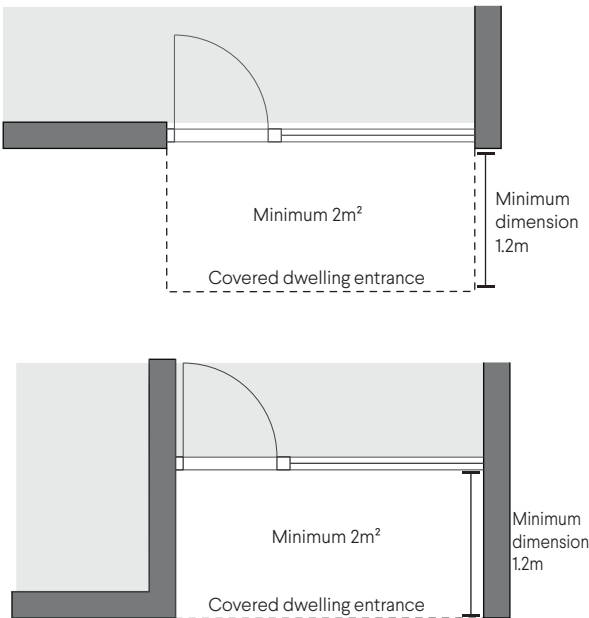


Figure 4.5a Covered primary dwelling entrance

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C4.5.1** Dwelling to address the **street** (including a **communal street** or **right-of-way** where this is the primary **frontage**) and provide at least one **major opening** on the dwelling frontage with an outlook to the street.
- C4.5.2** The primary entrance to each **dwelling** must be readily identifiable from the **street** (including a **communal street**).
- C4.5.3** For **single houses** and **grouped dwellings**, front doors to be protected from the weather by a **porch**, **verandah** or similar, consisting of a minimum area of 2m² and a minimum dimension of 1.2m (refer **Figure 4.5a**).

Note: Minimum dimension refers to the minimum length and width.

- C4.5.4** For **multiple dwellings**:
 - i. a legible, well-defined and **continuous path of travel** connects pedestrians from the communal arrival point to **building** access areas, such as lobbies and entry stairs; and
 - ii. ground floor **dwellings** fronting the **street** are provided with separate and individual pedestrian access from the street.

- C4.5.5** Where a **garage** faces the **primary street**, a garage door and its supporting structures (or a garage **wall** where the garage is aligned parallel to the **street**) shall not exceed the maximum garage width specified in **Table 4.5a** (refer **Figure 4.5b**).

Table 4.5a Maximum garage width

Single storey	Two or more storeys	
50% of the building width	Garage set back 2m or less from the building alignment	Garage set back more than 2m from the building alignment
	60% of the building width	80% of the building width
Notes: Refer to Table 3.4a for minimum and maximum parking standards.		

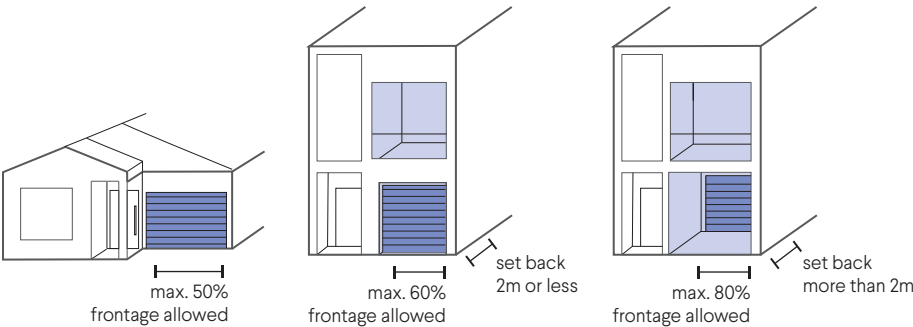


Figure 4.5b Maximum garage width calculation

4.6 Street setbacks

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.6.1** The **street setback** distance is appropriate for the existing and/or future **streetscape** and **local character**.
- P4.6.2** The **street setback area** provides sufficient space for tree planting and other **landscaping**, as well as community interaction.
- P4.6.3** **Garages** and/or **carports** set back to ensure any vehicle parking on a **driveway** does not impede on any existing or planned adjoining pedestrian, cycle, or dual-use path.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

- C4.6.1** **Dwellings** are set back from the **street boundary** in accordance with **Table B**.
- C4.6.2** **Garages** are set back from the **street boundary**:
 - i. 5.5m in areas coded R30 and R35; and
 - ii. in accordance with the **street setback** of **Table B** in areas coded R40 and above.
- C4.6.3** Notwithstanding **C4.6.1**, a **balcony**, **patio**, **porch**, **verandah**, or equivalent may be set back from the **primary street boundary** in accordance with **Table 4.6a**, up to the full **building width** (refer **Figure 4.6a**).
- C4.6.4** **Dwellings** set back from the corner truncation boundary in accordance with the **secondary street setback line** in **Table B**.
- C4.6.5** **Carports** permitted forward of the **street setback line** provided that:
 - i. the carport, inclusive of any associated structures, is set back a minimum of 0.5m from the **street boundary**;
 - ii. the carport is set back from the **lot boundary** in accordance with **C4.3.1**;
 - iii. the carport width does not exceed 60% of the **building width**;
 - iv. the carport is not **enclosed** for any portion within the **street setback area**; and
 - v. construction allows for a clear view between the **dwelling** and the **street**.

Table 4.6a Permitted primary street setback for balconies, patios, porches, verandahs or equivalent

R-Coding	Balcony, porch, patio and verandah setbacks
R30 to R35	2m
R40 to R60	1.5m
R80	1m
R100	1m

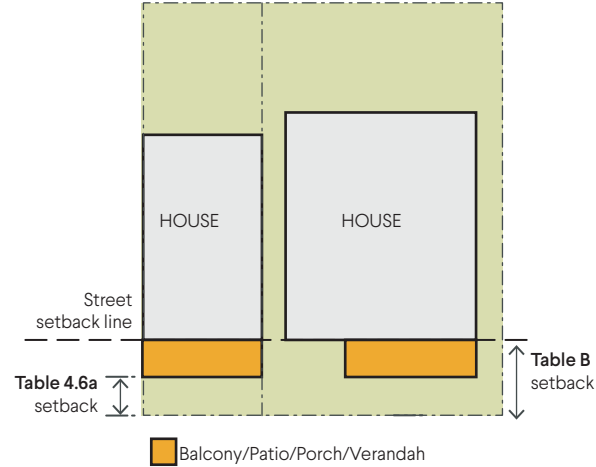


Figure 4.6a A porch, balcony, verandah or equivalent may project forward of the primary street setback line

4.7 Vehicle and pedestrian access

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.7.1** Vehicular access for each **development site** is to:
- prioritise pedestrian and cyclist safety while providing safe vehicle access;
 - minimise vehicle access points and the impact on the **streetscape**;
 - minimise the extent of **impervious surfaces**;
 - provide legible access; and
 - include high quality **landscaping** features.
- P4.7.2** Vehicle access is designed and located to avoid the removal of existing street trees where possible, or a suitable replacement tree is provided.

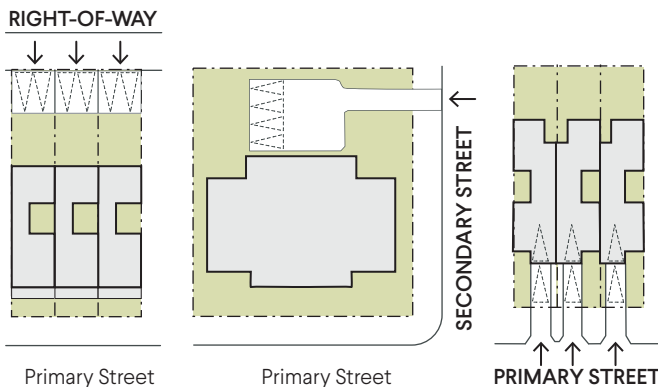


Figure 4.7a Access to parking prioritisation

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Vehicle access

- C4.7.1** Vehicle access to on-site car parking spaces to be provided via the lowest available **street** in the hierarchy (refer **Figure 4.7a**), as follows:
- where available, from a **right-of-way** or **communal street** available for lawful use to access the relevant **site** and which is trafficable and drained from the property boundary to a constructed **street**; or
 - from the **secondary street** where no right-of-way or communal street exists; or
 - from the **primary street** where no secondary street, right-of-way or communal street exists.

- C4.7.2** Walls, fences and other structures within the **street setback area** must be truncated or reduced in height to no higher than 0.75m within 1.5m of where walls, fences, or other structures adjoin:
- a **driveway** that intersects a **street, right-of-way** or **communal street**;
 - a right-of-way or communal street that intersects a public street; and
 - two streets that intersect.
- (refer **Figure 4.7b**)

- C4.7.3** Where located on a designated primary distributor or integrator arterial road, **driveways** to **grouped** and **multiple dwellings** must be 6m wide at the **street boundary** to allow for two vehicles to enter and exit simultaneously in forward gear (refer **Figure 4.7d**).

- C4.7.4** Vehicle access points are limited to one per **lot** (refer **Figure 4.7c**) except where:
- an existing **dwelling** is being retained that has an established access point that is not able to serve the other dwellings;
 - all dwellings front the **street**, whereby a maximum of one vehicle access point is permitted per dwelling; or
 - lot **frontage** exceeds 40m, where two vehicle access points are permitted.

- C4.7.5** Vehicle access points are to be located to protect existing street trees in accordance with AS4970/2009 Tree Protection Zone.

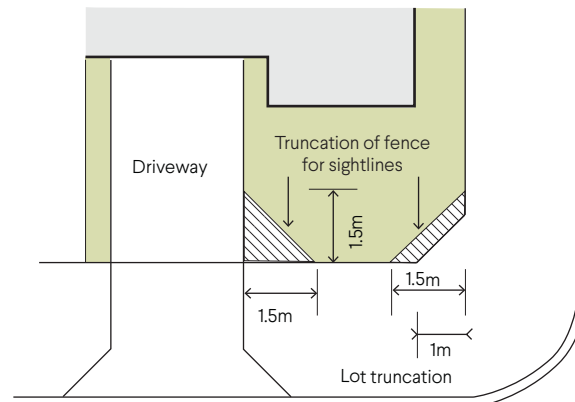


Figure 4.7b Location of truncations or reduced fence height

4.7 Vehicle and pedestrian access (cont.)

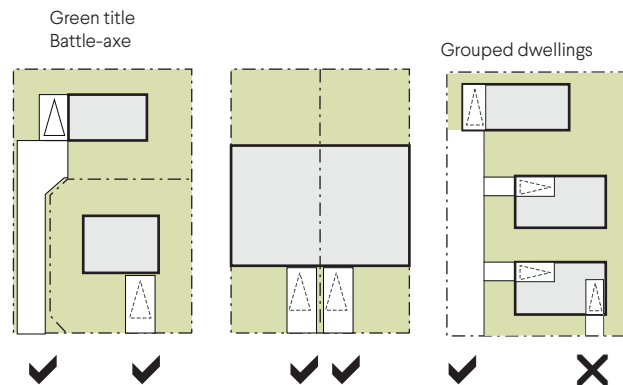


Figure 4.7c Vehicle access point locations

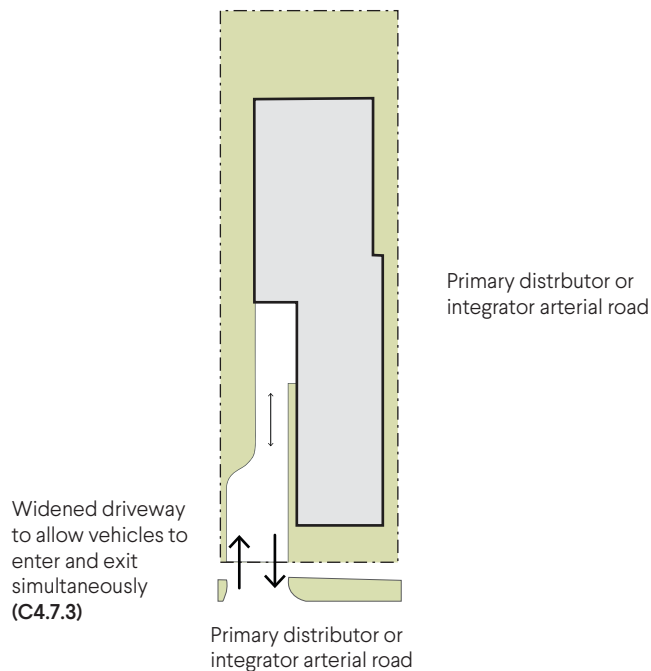


Figure 4.7d Driveways to designated primary distributor or arterial roads

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

Driveways

C4.7.6 Driveways must be:

- set back 0.5m from a side **lot boundary** or **street pole**;
- 3m wide except for portions that accommodate vehicle manoeuvring, access to a double **garage**, and/or passing bays;
- set back 6m to a street corner as required under AS2890.1 Parking Facilities: Off-street Parking (as amended);
- aligned at right angles to the road carriageway; and
- adequately trafficable and drained.

C4.7.7 Driveways for **grouped** and **multiple dwellings** to be designed to allow cars to enter the **street** in forward gear where the driveway:

- serves five or more **dwellings**; or
- the street to which it connects is a designated primary distributor or integrator arterial (refer **Figure 4.7d**).

C4.7.8 Driveways for **grouped** and **multiple dwellings** must provide vehicle passing points where:

- the driveway serves 10 or more **dwellings**; or
- the distance between an on-site car parking space and the **street boundary** is 30m or more.

Pedestrian access

C4.7.9 Where a pedestrian access leg is required to provide access from a **dwelling site** to a public **street**, it is to be:

- a minimum width of 1.5m; and
- designed to provide a clear **sightline** between the dwelling site and the street (refer **Figure 4.7e**).

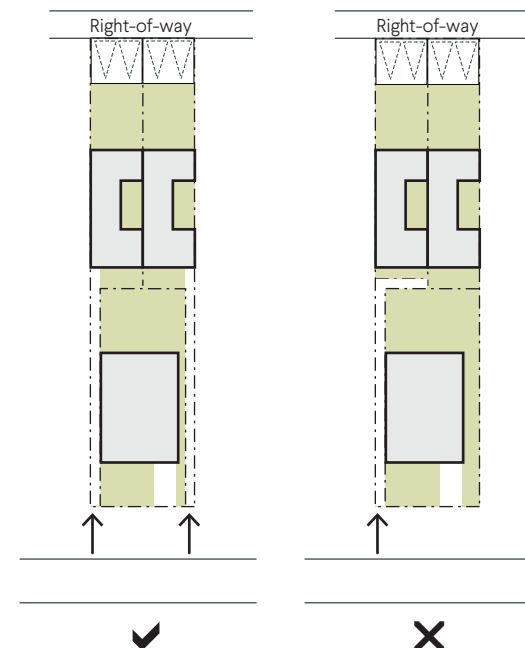


Figure 4.7e Pedestrian access leg

4.8 Communal streets

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.8.1 Communal streets** are designed as shared spaces for all users, with pedestrian and cyclist safety and access considerations given priority.
- P4.8.2 Communal streets** are designed to balance occupant **amenity** and use of the space with safe movement of vehicles.
- P4.8.3** Legible, safe, and direct access is provided for pedestrians to move between communal car parking areas or public **streets** and individual **dwellings**.
- P4.8.4 Development** with potential to be subdivided to create 20 or more **green title, strata or survey-strata lots** provides legible internal connections and access to **streets** and be designed to accommodate traffic movement and volume, visitor parking, pedestrian access, street shade trees, utility services and access for waste collection and emergency service vehicles.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C4.8.1 Communal street** to provide clear **sightlines**, lighting, a **continuous path of travel**, and surface treatments to slow traffic and prioritise pedestrian and cyclist safety.
- C4.8.2** The **communal street** is to be a minimum width of 4m, inclusive of a:
- 3m wide **driveway** in accordance with **C4.7.6**; and
 - 0.5m **setback** either side of the driveway (refer **Figure 4.8a**).
- The width of the communal street may be reduced to 3m where it is necessary to retain an existing **dwelling**.
- C4.8.3** The **communal street**, including any adjoining **setbacks**, is to be **landscaped**.
- C4.8.4** Notwithstanding **C4.8.2**, where a proposed **development** has the potential to be subdivided to create 20 or more **green title, strata or survey-strata lots**, with each lot obtaining **driveway** access from a **communal street**, the communal street shall be a minimum 12 metres wide, which shall include:
- a paved vehicular carriageway with a minimum width of 5.5m;
 - a 1.2m wide **universally accessible** pedestrian path, designed in accordance with AS1428.1 (as amended); and
 - adequate **landscaping** and lighting.

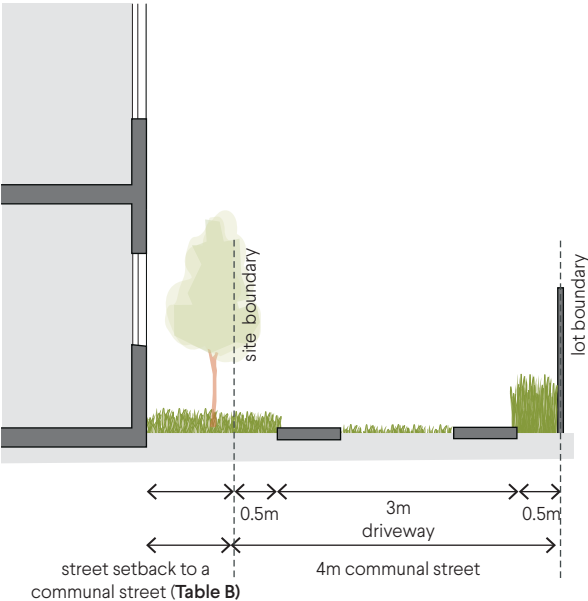


Figure 4.8a Communal street width

4.9 Street fences

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.9.1** Street fences allow for **passive surveillance** of the street from the **development**.
- P4.9.2** Street fences complement the existing and/or desired future **streetscape** and **local character**.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

- C4.9.1** When provided, **street fences** within the **primary street setback area** are to be:
- i. a maximum height of 1.5m above **natural ground level**, measured from the natural ground level on the primary street side of the front fence; and
 - ii. at least one third **visually permeable** (refer **Figure 4.9a**).
- C4.9.2** For **sites on street corners** or sites abutting a public pedestrian access way, street fences to the **secondary street** or public pedestrian access way to be designed in accordance with **C4.9.1** for a minimum of 25% of the **street boundary** directly behind the **primary street setback** (refer **Figure 4.9b**).
- C4.9.3** Where a **dwelling** fronts a **street** that is a designated primary distributor or integrator arterial road, the fence height within the **primary street setback area** may be increased to 1.8m, and may be solid where the fence is set back 0.5m with **landscaping** provided between the **street boundary** and the fence.

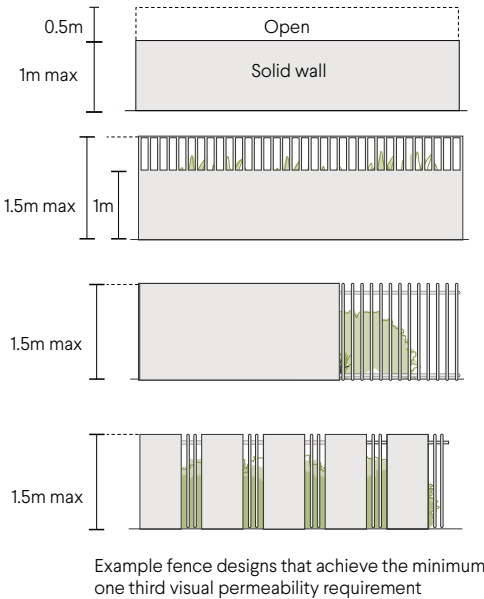


Figure 4.9a Visually permeable fencing

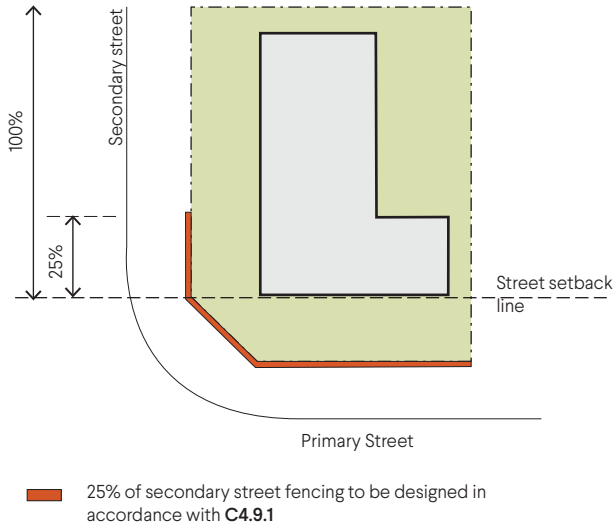


Figure 4.9b Corner lot fencing requirements

4.10 Retaining existing dwellings

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.10.1** Retained dwellings contribute positively to the streetscape and/or established built form local character.
- P4.10.2** Retained dwellings provide outdoor amenity, solar access and natural ventilation for occupants.

DEEMED-TO COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C4.10.1** Where a dwelling is retained as part of a grouped dwelling development:

i.

the appearance of the retained dwelling is upgraded externally to an equivalent maintenance standard of the new (or the rest of) the development; and

ii.

the retained dwelling it is to comply with the following:

2.1

Primary garden area

2.3

Trees, deep soil area and landscaping

3.1

Primary living space (provisions C3.1.1 and C3.1.2)

3.4

Parking

3.5

Storage

4.11 Solar access for adjoining sites

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.11.1** Development is designed to protect solar access for adjoining sites taking account the potential to overshadow:
- i. north-facing openings to primary living spaces, within 15 degrees of north in either direction;
 - ii. outdoor active habitable spaces; and
 - iii. roof mounted solar collectors.

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

- C4.11.1** In climate zones 4, 5, and 6, development shall be so designed that its shadow cast at midday, 21 June (refer Figure 4.11a) onto any other:
- i. residential zoned adjoining property; or
 - ii. residential zoned lot that is diagonally adjacent to the development site (refer Figure 4.11b);
- does not exceed the limits set out in Table 4.11a.
- C4.11.2** Where an adjoining property shares a northern lot boundary with more than one lot including the development site, the limit of shading at C4.11.1(i) shall be cumulative and proportional to the length of the shared boundary/ies of the development site (refer Figure 4.11c).
- Note: with regard to C4.11.1 to C4.11.2, dividing fences do not contribute to calculations of overshadowing.*
- C4.11.3** Buildings are configured to maintain four hours per day solar access on 21 June for existing solar collectors for adjoining properties.

Table 4.11a Maximum overshadowing

Adjoining property R-Coding	Maximum overshadowing for adjoining property	Maximum overshadowing for diagonally adjacent lots
R25 and lower	25% of the site area	12.5% of the site area
R30 – R35	35% of the site area	17.5% of the site area
R40 – R50	45% of the site area	22.5% of the site area
R60	60% of the site area	30% of the site area
R80 or higher	80% of the site area	40% of the site area

Notes: For the purpose of calculating overshadowing, site area refers to the area of the ground surface of the adjoining property and is measured without regard to any building on it, but taking into account its natural ground levels.

4.11 Solar access for adjoining sites (cont.)

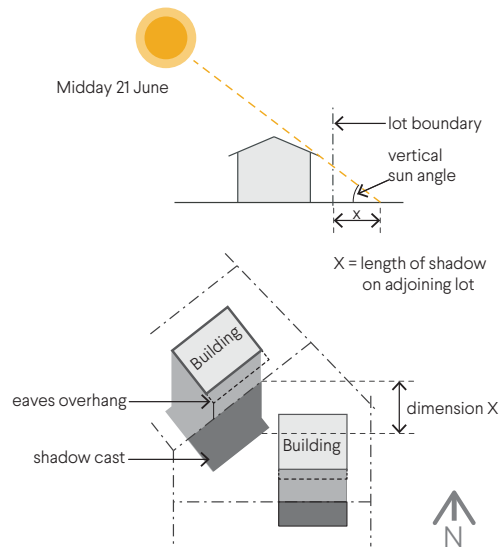
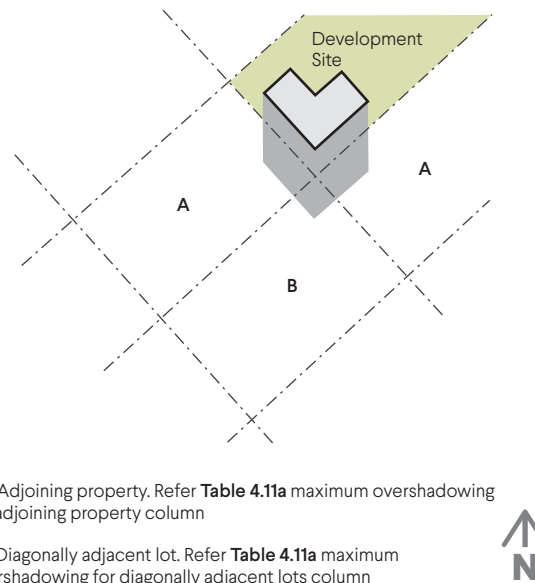


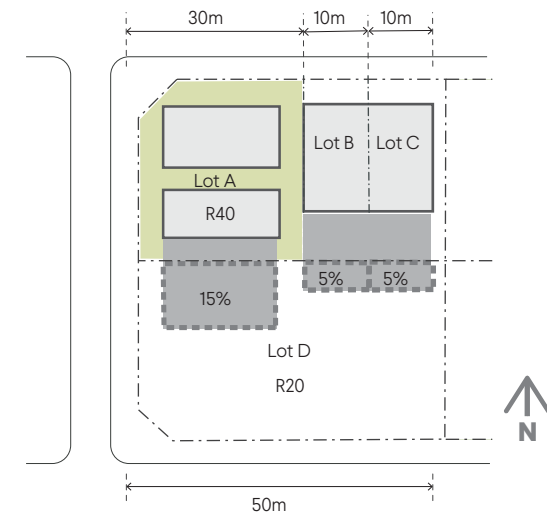
Figure 4.11a Measuring extent of solar access to neighbouring properties



A = Adjoining property. Refer **Table 4.11a** maximum overshadowing for adjoining property column

B = Diagonally adjacent lot. Refer **Table 4.11a** maximum overshadowing for diagonally adjacent lots column

Figure 4.11b Overshadowing for adjoining property and diagonally adjacent lots



Maximum overshadowing allowed to Lot D = 25%

Lot A can cast shadow max $30/50 \times 25\% = 15\%$ of Lot D site area

Lot B can cast shadow max $10/50 \times 25\% = 5\%$ of Lot D site area

Lot C can cast shadow max $10/50 \times 25\% = 5\%$ of Lot D site area

Figure 4.11c Proportionate limits from shared southern boundary

4.12 Visual privacy

DESIGN PRINCIPLES

Development demonstrates compliance with the following design principles (P)

- P4.12.1** Direct overlooking of **major openings** and **active habitable spaces** of adjacent **dwellings** and **adjoining properties** minimised through:
- i. **building** siting, layout and design;
 - ii. design and location of major openings;
 - iii. **landscape** screening of outdoor active habitable spaces; and/or
 - iv. design and location of **screening** devices.
- P4.12.2** Maximum visual privacy achieved through appropriate interfaces between **dwellings** including measures such as:
- i. offsetting the location of ground and first floor windows so that viewing is oblique rather than direct;
 - ii. **building boundary walls** where appropriate;
 - iii. setting back the upper storeys from the **lot boundary**;
 - iv. providing higher, or opaque and fixed windows; and/or
 - v. **screening** (including **landscaping**, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters).
- P4.12.3** Visual privacy strategies maintain **amenity** of **habitable rooms** and **active habitable space** with regard to **solar access**, **natural ventilation** and external outlook both within the **development** and for **adjoining properties**.

DEEMED-TO-COMPLY

Development satisfies the following **deemed-to-comply** requirements (C)

For development adjoining an existing dwelling

- C4.12.1** A **cone of vision** (refer **Figure 4.12a**) is to be established for all **sources of overlooking**, measured:
- i. from a height of 1.7m above floor level;
 - ii. for a radius specified in accordance with **Table 4.12a** and extending 90 degrees down to ground level; and
 - iii. within a 45 degree horizontal angle from the outside edges of the **major opening** or perimeter of the **active habitable space**.
- C4.12.2** Where the **cone of vision** captures a **major opening** or an **active habitable space** of an existing **dwelling** behind the **street setback** on an **adjoining property**, the **source of overlooking** is located, designed or set back to limit the **line of sight** into the major opening or active habitable space of the adjoining property through one or more of the following:
- i. offset the major opening a minimum of 1.5m from the edge of one major opening to the edge of another on an adjoining property^{1,2} (refer **Figure 4.12b**);
 - ii. incorporate a permanent, fixed vertical or horizontal **building** element, planter box or fin (refer **Figure 4.12c**, **Figure 4.12d**);
 - iii. have a sill height of at least 1.6m above floor level (refer **Figure 4.12e**);
 - iv. have fixed, obscure glazing in any part of the window below 1.6m above floor level (refer **Figure 4.12f**);
 - v. have permanent **screening** to at least 1.6m above floor level that is a minimum 75 per cent obscure (refer **Figure 4.12g**); or
 - vi. set back the source of overlooking so that the cone of vision does not capture a major opening or active habitable space on an adjoining property.

Notes: **Cone of vision** radius include the width of any adjoining **right-of-way**, **communal street** or **battleaxe leg** or the like.

¹Offsetting a **major opening** limits the **line of sight** between facing major openings, however may not satisfy all visual privacy requirements including potential overlooking of active habitable spaces on different levels of the **adjoining property**.

²When offsetting to meet the **deemed-to-comply**, **major openings** must be orientated perpendicular to or orientated away from the major opening on the **adjoining property**.

C4.12.3 Sources of overlooking for **grouped** or **multiple dwelling buildings** on the same **lot**, or facing portions of the same multiple dwelling building, are to apply **C4.12.1** and **C4.12.2**.

Table 4.12a Cone of vision radius

Type of habitable room/ active habitable space (with a floor level of more than 0.5m above natural ground level)	Required cone of vision radius
Major opening from bedroom and study	5m
Major opening from habitable room other than bedroom and study	6.5m
Unscreened outdoor active habitable space	8m

4.12 Visual privacy (cont.)

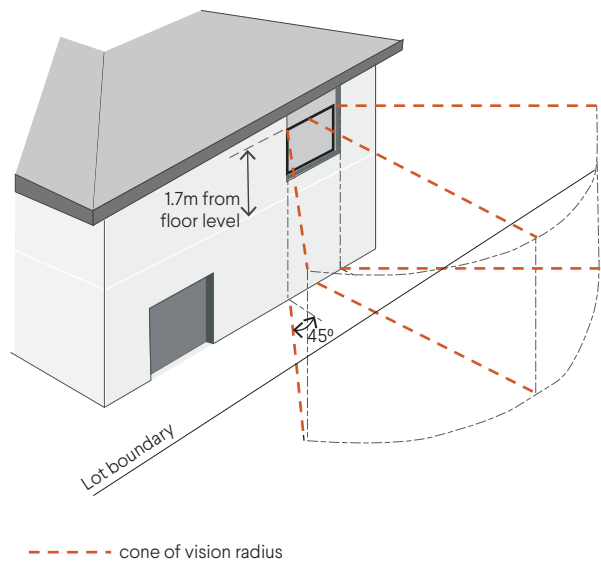


Figure 4.12a Establishing a cone of vision

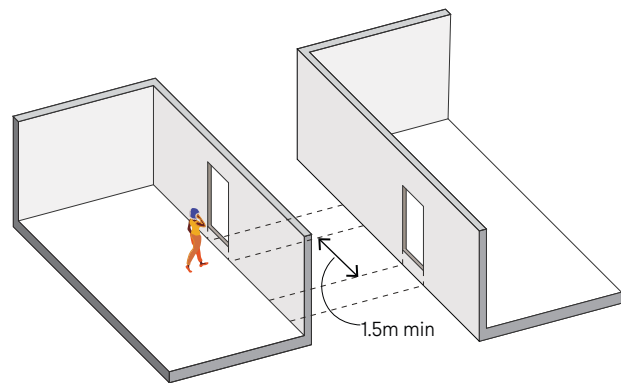


Figure 4.12b Offsetting major openings

DEEMED-TO-COMPLY

Development satisfies the following deemed-to-comply requirements (C)

For development adjoining a vacant site

C4.12.4 Where an adjoining property is vacant residential zoned land, C4.12.1 does not apply and major openings from active habitable spaces (excluding bedrooms) with a floor level of more than 0.5m above natural ground level are to be:

- i. set back from the lot boundary in accordance with Table 4.12b; or
- ii. orientated a minimum of 90 degrees away from the adjoining lot boundary (refer Figure 4.12h)

Where (i) or (ii) cannot be achieved, potential overlooking from an active habitable space (excluding bedrooms) shall be addressed in accordance with C4.12.2 (iv), (v) or (vi).

Type of habitable room/ active habitable space <i>(with a floor level of more than 0.5m above natural ground level)</i>	Setback for land coded R25 or lower	Setback for land coded R30 or higher
Major opening to habitable room <i>(excluding bedrooms)</i>	6m	4.5m
Unscreened outdoor active habitable space	7.5m	6m

Notes: Where a development site adjoins a lower R-Coding, the lower coded visual privacy setback applies.

Table 4.12b Visual privacy lot boundary setbacks

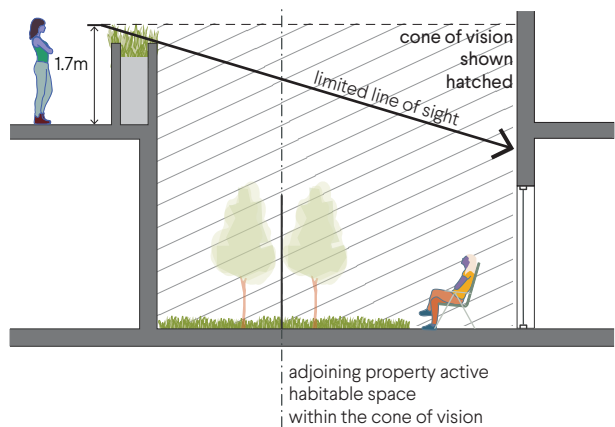


Figure 4.12c Horizontal and vertical visual privacy design solutions

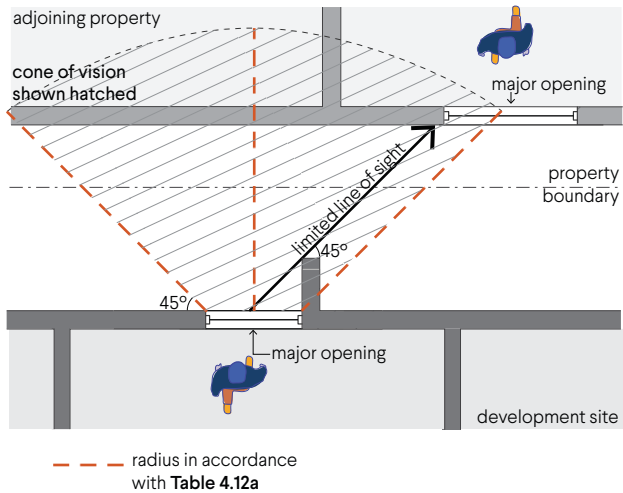


Figure 4.12d Horizontal and vertical visual privacy design solutions

4.12 Visual privacy (cont.)

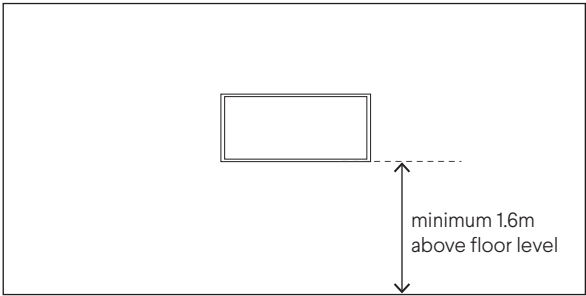


Figure 4.12e Sill height for visual privacy

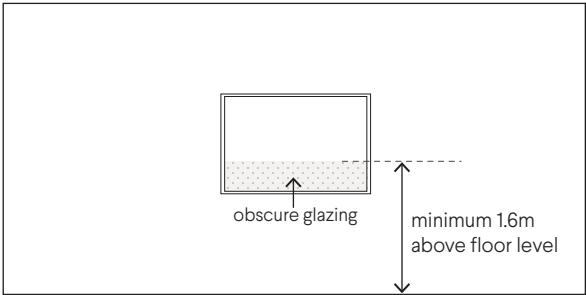


Figure 4.12f Obscure glazing for visual privacy

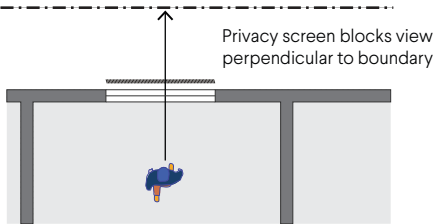
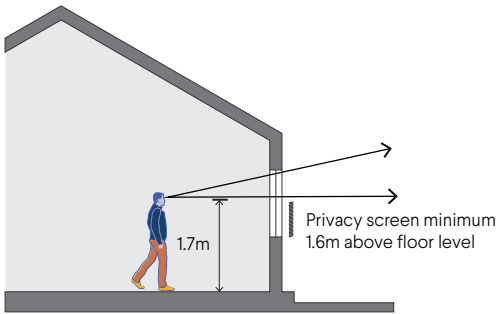


Figure 4.12g Permanently fixed screening for visual privacy

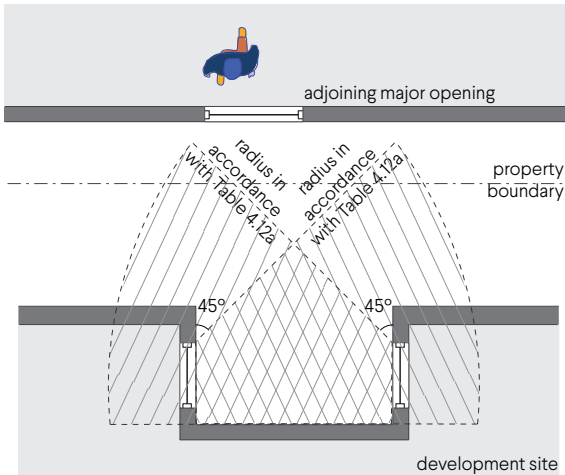


Figure 4.12h Orient openings a minimum 90 degrees from boundary

Table A Site area requirements

Copy of **Table A** from element 1.1 Site area

R-Code	Dwelling type	Site area per dwelling (m²)		
		Site Category 1 (refer C1.1.2)	Site Category 2 (refer C1.1.3)	Site Category 3 (refer C1.1.4)
For residential development in areas coded R25 and below, refer to R-Codes Vol.1, Part B				
R30	Single house and Grouped dwelling	Min 260 Ave 300	Min 220 Ave 260	Min 180 Ave 220
	Multiple dwelling	Ave 300	Ave 260	Ave 220
R35	Single house and Grouped dwelling	Min 220 Ave 260	Min 180 Ave 220	Min 160 Ave 180
	Multiple dwelling	Ave 260	Ave 220	Ave 180
R40	Single house and Grouped dwelling	Min 180 Ave 220	Min 160 Ave 180	Min 120 Ave 150
	Multiple dwelling	Ave 115	Ave 100	Ave 85
R50	Single house and Grouped dwelling	Min 160 Ave 180	Min 120 Ave 150	Min 100 Ave 120
	Multiple dwelling	Ave 100	Ave 85	Ave 85
R60	Single house and Grouped dwelling	Min 120 Ave 150	Min 100 Ave 120	NA
	Multiple dwelling	Ave 85	NA	NA
R80	Single house and Grouped dwelling	Min 100 Ave 120	NA	NA
	Multiple dwelling	Refer R-Codes Vol. 2	NA	NA
R100 (refer C1.1.9)	Single house and Grouped dwelling	Min 80 No ave applies	NA	NA
	Multiple dwelling	Refer R-Codes Vol. 2	NA	NA
Notes: R80 site area requirements apply to all single house or grouped dwellings located on lots coded R100, R160 and R-AC, with the exception of lots that meet the criteria of C.1.1.9, which may apply R100 site area requirements.				

Table B Primary controls

The following primary controls provide the deemed-to-comply provisions for all medium density development: - single houses and grouped dwellings in areas coded R30 and above; and - multiple dwellings in areas coded R30 to R60.		R30	R35	R40	R50	R60	R80 <i>(for multiple dwellings refer R-Codes Vol. 2.)</i>	R100 ¹ <i>(for multiple dwellings refer R-Codes Vol. 2.)</i>	
Maximum site cover (% of site area) <i>Refer Element 4.1 Site cover</i>		55%	55%	55%	60%	60%	70%	85%	
Maximum building height (storeys) <i>Refer 4.2 Building height</i>		2	2	3	3	3	4	4	
Maximum boundary wall height <i>Refer Element 4.2 Building height and 4.3 Lot boundary setbacks</i>	Boundary wall Type A	3.5m	3.5m	3.5m	3.5m	7m	7m	7m	
	Boundary wall Type B	3.5m	3.5m	7m	7m	7m	7m	7m	
	Boundary wall Type C	7m	7m	9m	9m	12m	12m	12m	
Minimum lot boundary setbacks ² <i>Refer Element 4.3 Lot boundary setbacks</i>	1 storey	1m						1m	
	2 storey	2m						1.5m	
	3 storey	3m						3m	
	4 storey	3m						3m	
Minimum street setback <i>Refer Element 4.6 Street setbacks</i>	Primary street		4m	4m	3m	3m	3m	2m	1m
	Secondary street		1.5m						1m
	Adjoining pedestrian access way, communal street or battleaxe lot access leg		1m						1m
	Adjoining right-of-way ³	Setback of ground floor	0.5m						0.5m
		Setback of upper storeys							0m
	Adjoining right-of-way (where ROW is the primary street to the dwelling) ⁴		2m						N/A

Notes: R80 code standards apply to **single houses, grouped dwellings** in areas coded R100, R160 and R-AC (unless subject to C1.1.9).

Primary controls of **Table B** apply, except where modified by the **local planning framework**, in which case **development** complies with the controls set out in the applicable local planning instrument.

¹Subject to C1.1.9.

²Boundary walls permitted in accordance with C4.3.5 - C4.3.8.

³Where the **right-of-way** is less than 6m wide, a minimum of 1m **setback** applies. In all instances **ancillary dwellings** are to apply these requirements.

⁴Does not apply to **ancillary dwellings**.

APPENDICES

A1	DEFINITIONS	61
A2	CONTEXT AND SITE ANALYSIS	68
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Definitions

ACTIVE HABITABLE SPACE – any:

- **habitable room** with a **floor area** greater than 10m²; and
- **balcony, courtyard, patio, verandah** or other forms of **private open space**.

ACTIVITY CENTRE – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015* and are community focal points that include activities such as commercial, retail, higher-density housing, entertainment, tourism, civic, community, higher education, and medical services. Activity centres vary in size and composition and are designed to be well-serviced by public transport.

ADAPTABLE HOUSING / DWELLINGS – **dwellings** designed and built to accommodate future changes to suit occupants with mobility impairment or life cycle needs.

ADJOINING PROPERTY – any **lot**:

- on which any **dwelling** for which provision is made in the R-Codes may be constructed under the **scheme**; and
- which shares a boundary or portion of a boundary with a lot on which there is a proposed **residential development site** or is separated from that lot by a **right-of-way**, vehicle access way, pedestrian access way, access leg of a **battleaxe lot** or the equivalent not more than 6m in width.

AGED PERSON – a person who is aged 55 years or over.

AMENITY – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015* and includes the 'liveability', comfort or quality of a place which makes it pleasant and agreeable to be in for individuals and the community. Amenity is important in the public, communal and private domains and includes the enjoyment of **sunlight**, outlook, privacy and quiet. It also includes protection from pollution and odours.

ANCILLARY DWELLING – self-contained **dwelling** on the same lot as a dwelling which may be attached to, integrated with or detached from the dwelling.

AT-GRADE – located at same height as ground level.

BALCONY – a balustraded platform on the outside of a **dwelling** with access from an upper internal room.

BASEMENT – a **building** floor level in which 50 per cent or more of its volume is below **natural ground level**.

BATTLEAXE LOT – a **single house** lot that has a **frontage** for purposes of servicing and access to a public road only through a strip of connecting land containing a **pedestrian access leg** and/ or vehicular access way that is part of the lot. The term excludes a **site** that has vehicle access from a private or **communal street** or **right-of-way** connected to a public road.

BOUNDARY WALL – a **wall**, on or less than 600mm from any **lot boundary (green title or survey-strata lot)**, other than a **street boundary**.

BUILDING – any structure whether fixed or moveable, temporary or permanent, placed or erected on land, and the term includes **dwellings** and structures appurtenant to dwellings such as **carports, garages, verandahs, patios, outbuildings** and retaining walls, but excludes boundary fences, **pergolas** and swimming pools.

BUILDING ALIGNMENT – means the vertical external face of any **building** comprising solid building material, but excludes any projections such as **balconies, eaves, porches** and **verandahs**.

BUILDING WIDTH – the width of the **building** as viewed from the **primary street**.

CARPORT – A roofed structure designed to accommodate one or more motor vehicles that is **unenclosed** and without a door unless that door is **visually permeable**.

CLIMATE ZONE – as defined by ABCB (see end of definitions, page 67). Western Australia is divided into five climate zones based on humidity and temperature, ranging from temperate in the southwest to hot/arid in the interior to hot/humid in the north.

COMMON PROPERTY – has the meaning given by section 10 of the *Strata Titles Act 1985*, as amended, and means:

- that part of the parcel of land subdivided by the **strata titles scheme** that does not form part of a **lot** in the strata titles scheme; and
- temporary common property.

COMMUNAL OPEN SPACE –

For Volume 1 it means open space set aside for the recreational use of the occupants of the **dwellings** in a common and does not include **development driveways** or car parking areas.

For Volume 2 it means outdoor areas within the **lot** and either at ground level or on structure that is accessible to and shared by residents for common recreational use and in some instances accessible to the public. It must promote gathering and social interaction. It does not include primary external circulation areas for vehicles or pedestrians however a seating niche or small gathering space within a circulation area is included. A minimum dimension is applicable for the main (largest) component. Covered communal facilities connected to open space, publicly accessible open space and public open space within the **development site** (if provided) can contribute to communal open space requirements.

COMMUNAL STREET – **common property** or private **street** providing joint access to two or more **dwellings** in a **residential development** and may include vehicle and pedestrian access, and **landscaping**.

CONE OF VISION – the limits of outlook from any given viewpoint, applying a viewing cut off angle not less than 45 degrees, for the purposes of assessing the extent of overlooking from that point.

CONTINUOUS PATH OF TRAVEL – an uninterrupted route to or within premises or **buildings** and providing access to all services and facilities (AS1428.1). It should not incorporate any step, stairway, turnstile, revolving door, escalator, hazard or other impediment which would prevent it from being safely negotiated by people with disability.

CORNER LOT – a **lot** located at the intersection of two or more constructed public **streets**.

COURTYARD – open space at ground level or on a structure that is open to the sky and **enclosed** by the **building** on three or more sides.

CROSSOVER – the vehicle access point (or **driveway**) running from the property boundary to the edge of the road.

DAYLIGHT – consists of both skylight (diffuse light from the sky) and **sunlight** (direct beam radiation from the sun). Daylight changes with the time of day, season and weather conditions.

DECISION-MAKER – that body, organisation or authorised person legally vested with the power to make decisions, pursuant to relevant legislation, in respect of **residential development** in accordance with the R-Codes.

DEEMED-TO-COMPLY – a proposal, or a component of a proposal, that complies with the deemed-to-comply provisions of the R-Codes, or an adopted **local planning policy**.

DEEP SOIL AREA – soft **landscape** area on **lot** with no impeding **building** structure or feature above or below, which supports growth of small to large canopy trees and meets a stated minimum dimension. Used primarily for landscaping and open to the sky, deep soil areas exclude **basement** car parks, services, swimming pools, tennis courts and **impervious surfaces** including car parks, **driveways** and roof areas.

DEPENDANT PERSON – a person with a recognised form of disability requiring special accommodation for independent living or special care.

DESIGN PRINCIPLES – in R-Codes Volume 1, specific design objectives for each element of R-Codes Volume 1 are to be met by all **residential development** subject to Volume 1 and are to be used in the preparation, submission and assessment for proposals for the purpose of determining their compliance with R-Codes Volume 1. A proposal is required to demonstrate compliance with design principles where it does not satisfy corresponding **deemed-to-comply** provisions.

DEVELOPMENT – as defined under the *Planning and Development Act 2005*.

DEVELOPMENT SITE – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015*.

DRIVEWAY – the portion of the paved vehicle access way between a car parking area and the property boundary, excluding any associated **landscaping** or pedestrian path on either side.

DUAL KEY DWELLING – a form of **ancillary dwelling** with a common internal corridor and lockable doors to sections within the **dwelling** so that it is able to be separated into two independent units.

DWELLING – **building** or portion of a building being used, adapted, or designed or intended to be used for the purpose of human habitation on a permanent basis by a single person, a single family, or no more than six persons who do not comprise a single family.

EFFECTIVE LOT AREA – that part of the **lot** that is capable of **development** and excludes any vehicle or **pedestrian access** legs and associated truncations.

ENCLOSED – an area bound on three or more sides by a permanent **wall** and covered in a water impermeable material.

ESSENTIAL SERVICE UTILITIES – supply and reticulation of essential services including, but not limited to power, water, gas, wastewater, internet and telecommunications.

EXTERNAL FIXTURES – fixtures located external to the **dwelling** and includes:

- **essential service utilities;**
- **functional utilities;**
- **sustainability infrastructure;** and
- **fire service infrastructure.**

FIRE SERVICE INFRASTRUCTURE – all infrastructure required by relevant emergency services, such as fire safety systems, boosters and hydrants.

FLOOR AREA – in relation to a room or **dwelling**, the internal area measured within the finished surfaces of the **walls**, and includes the area occupied by any cupboard or other built-in furniture, fixture or fitting.

FREEHOLD SCHEME – has the meaning given by section 8(2) of the *Strata Titles Act 1985*, as amended.

FRONTAGE – the width of a **lot** at the **primary street setback line**, provided that in the case of **battleaxe** or other irregularly shaped lots, it shall be as determined by the **decision-maker**.

FUNCTIONAL UTILITIES – functional utilities associated with the **dwelling** including, but not limited to air-conditioning, plant, clothes drying and hot water systems.

GARAGE – any roofed structure, other than a **carport**, designed to accommodate one or more motor vehicles and attached to the **dwelling**.

GREEN TITLE – a **lot** owned in fee simple issued with a certificate of title under the *Transfer of Land Act 1893*, as amended, other than a **strata lot** or a **survey-strata lot**.

GROUPED DWELLING – a **dwelling** that is one of a group of two or more dwellings on the same **lot** such that no dwelling is placed wholly or partly vertically above or below another, except where special conditions of **landscape** or topography dictate otherwise, and includes a dwelling in a **strata titles scheme** with **common property**.

HABITABLE ROOM/SPACE – as defined by the **NCC** for a room/space used for normal domestic activities that includes:

- a bedroom, living room, lounge room, music room, sitting room, television room, kitchen, dining room, sewing room, study, playroom, family room, sunroom, gymnasium, fully **enclosed** swimming pool or **patio**;
- but excludes:
- a bathroom, laundry, water closet, food storage pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes drying room, **verandah** and **unenclosed** swimming pool or patio and other spaces of a specialised nature occupied neither frequently nor for extended periods.

HEIGHT, BUILDING – this is the distance between the point where the base of the **wall** meets the **natural ground level** and measured to the highest point of a wall or roof of a **building** vertically above that point excluding **minor projections**.

HEIGHT, WALL – the vertical distance from the **natural ground level** at the base of the **wall** to the roof or the top of the **parapet**.

HERITAGE PROTECTED PLACE – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015*.

HIGH-FREQUENCY ROUTE – a public transport route with timed stops that runs a service at least every 15 minutes during weekday peak periods (7am to 9am and 5pm to 7pm).

IMPERVIOUS AREA/SURFACE – surfaces that do not permit the penetration of rainwater into the ground and instead generate **stormwater** run-off, typically to drainage systems.

INCIDENTAL DEVELOPMENT – **development** which is associated with or attached to a **dwelling** and incidental to its main residential functions.

INTERNAL WALLS – those walls which are wholly included within the **dwelling** including **walls** that abut covered **outdoor living areas** but does not include walls which are common to two dwellings in **grouped** or **multiple dwelling** developments.

LANDSCAPE / LANDSCAPING / LANDSCAPED – land developed with garden beds, shrubs and trees, or by the planting of lawns, and includes such features as rockeries, ornamental ponds, swimming pools, barbecue areas or playgrounds and any other such area approved of by the **decision-maker** as landscaped area.

LANEWAY – a narrow local **street** type without a verge located along the rear and/or side property boundary, typically used in more dense residential areas when smaller **lot** layouts justify rear garaging, and where alternative vehicle access is needed for lots fronting busy streets or parks.

LEASEHOLD SCHEME – has the meaning given by section 8(3) of the *Strata Titles Act 1985*, as amended.

LIGHTWELL – an opening to the sky, **enclosed** on four sides by **building** volume, with a height to width ratio of more than 2:1.

LINE OF SIGHT – a straight line measured from a height of 1.7m above the floor level from the **source of overlooking** to a **major opening** or **active habitable space** of an **adjoining property**, within the established **cone of vision**.

LOCAL CHARACTER / LOCAL IDENTITY – the natural, cultural and historic characteristics of an area that are intrinsic to the locality, and which the local community relate to. See also **sense of place**.

LOCAL DEVELOPMENT PLAN – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015*.

LOCAL PLANNING FRAMEWORK – comprises all strategic, statutory and policy planning documents which collectively outline the planning for an area and **development** requirements for **sites**, of the **decision-maker** and generally include a **scheme**, **local planning strategy** (including any housing component), **structure plans**, activity centre plans, **local development plans** and **local planning policies**.

LOCAL PLANNING POLICY – any policy prepared by a local government in accordance with the procedures set out in the **local planning scheme**.

LOCAL PLANNING SCHEME – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015*.

LOCAL PLANNING STRATEGY – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015*; a document which supports the preparation and review of a **local planning scheme** in accordance with Part 3 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

LOFT – a room or space within the roof space of a **building**.

LOT – for **single houses**, a **lot** as defined under the *Planning and Development Act 2005*, as amended. For **multiple** or **grouped dwellings**, the **parent lot**.

LOT BOUNDARY – the boundary between a **lot** and any other parcel of land, excluding a **street boundary**.

LOT IN A STRATA SCHEME – has the meaning given by section 3 of the *Strata Titles Act 1985*, as amended, and means one or more cubic spaces forming part of the parcel subdivided by the **strata scheme**, the base of one **lot** on the floor plan forming part of the **strata plan** or an amendment of the strata plan but does not include any structural cubic space except if that structural cubic space is a single tier **building**, as defined in regulation 6 of the *Strata Titles (General) Regulations 2019*.

LOT IN A SURVEY-STRATA SCHEME – has the meaning given by section 3 of the *Strata Titles Act 1985*, as amended, and means land that is shown as a **lot** consisting of one or more parts on the plan for that scheme.

MAJOR OPENING – a window, door or other opening in the exterior **wall** of a **habitable room** that provides external means of light or view for that room or space, but does not include an opening or openings that:

- in aggregate do not exceed 1m² in any such wall, (provided that adjoining or contiguous windows at the junction of two walls forming an internal angle of 90 degrees or less shall be aggregated); or
- are glazed in an obscure material and are not able to be opened; or have a sill height not less than 1.6m above floor level.

MAJOR RAINFALL EVENT – events greater than a **minor rainfall event** and up to and including the 1 per cent annual exceedance probability (AEP) event (refer Department of Water).

MINOR PROJECTION –

- in relation to the height of a **building**: a chimney, vent pipe, aerial or other appurtenance of like scale;
- in relation to a wall: a rainwater pipe, vent pipe, eaves overhang, cornice or other moulding or decorative feature, provided that the projection does not exceed 0.75m measured horizontally.

MINOR RAINFALL EVENT – rainfall events greater than **small rainfall events** and less than **major rainfall events**.

MIXED USE DEVELOPMENT – **buildings** that contain commercial and other non-residential uses in conjunction with residential **dwellings** in a **multiple dwelling** configuration.

MULTIPLE DWELLING – a **dwelling** in a group of more than one dwelling on a **lot** where any part of the **plot ratio area** of a dwelling is vertically above any part of the plot ratio area of any other but:

- does not include a **grouped dwelling**; and
- includes any dwellings above the ground floor in a **mixed use development**.

NATURAL GROUND LEVEL – the levels on a **site** which precede the proposed **development**, excluding any site works unless approved by the **decision-maker** or established as part of subdivision of the land preceding development.

NATURAL VENTILATION – the movement of a sufficient volume of fresh air through a **dwelling** to refresh indoor air.

NCC – National Construction Code, comprising the Building Code of Australia (BCA) and Plumbing Code of Australia (PCA).

NON-HABITABLE ROOM/SPACE – any room or space that is not defined as a **habitable room** or space in the **NCC**.

OPEN SPACE – Generally that area of a **lot** not occupied by any **building** and includes:

- open areas of accessible and useable flat roofs and **outdoor living areas** above **natural ground level**;
- areas beneath eaves;
- **verandahs**, **patios** or other such roofed structures not more than 0.5m above natural ground level, **unenclosed** on at least two sides, and covering no more than 10 per cent of the **site area** or 50m² whichever is the lesser;
- unroofed open structures such as **pergolas**;
- uncovered **driveways** (including access aisles in car parking areas) and uncovered car parking spaces;

but excludes:

- non-accessible roofs, **verandahs**, **balconies** and outdoor living areas over 0.5m above natural ground level; and/or
- covered car parking spaces and covered walkways, areas for rubbish disposal, stores, **outbuildings** or plant rooms.

OUTBUILDING – an **enclosed non-habitable structure** that is detached from any **dwelling**.

OUTDOOR LIVING AREA – the area external to a **single house**, **grouped** or **multiple dwelling** to be used in conjunction with that **dwelling** such that it is capable of active or passive use and is readily accessible from the dwelling.

PARAPET – the portion of a **wall** protruding above a roof or **terrace**. Often taken to refer to the decorative element which establishes the **street wall height** of heritage **buildings** (see cornice).

PARENT LOT – relating to **multiple** or **grouped dwellings**, the **lot** inclusive of common areas to which the **strata titles scheme**, as defined under the *Strata Titles Act 1985*, as amended, relates.

PASSIVE SURVEILLANCE – actual and perceived monitoring of public spaces by people as they go about their daily activities. Commonly referred to as ‘eyes on the street’.

PATIO – an **unenclosed** structure covered in a water impermeable material which may or may not be attached to a **dwelling**.

PEDESTRIAN ACCESS LEG – provides access from a public **street** to a **dwelling** where sole vehicular access is via a rear **right-of-way**. It can be in the form of a portion of the rear **lot** or as **common property** in the case of a **strata title scheme**.

PERGOLA – an open-framed structure covered in a water permeable material or unroofed, which may or may not be attached to a **dwelling**.

PERMEABLE SURFACE/ PERMEABLE PAVEMENT – soil or ground surface treatments that allow rainwater and **stormwater** to infiltrate to the underlying subsoil.

PLOT RATIO – the ratio of the gross **plot ratio area** of **buildings** on a **development site** to the area of land in the **site** boundaries.

PLOT RATIO AREA – the gross total area of all floors of **buildings** on a **development site**, including the area of any internal and external **walls** but not including:

- the areas of any lift shafts;
- stairs or stair landings common to two or more **dwellings**;
- machinery, air conditioning and equipment rooms;
- space that is wholly below **natural ground level**;
- area used exclusively for the parking of wheeled vehicles at or below natural ground level;
- storerooms;
- lobbies, bin storage areas, passageways to bin storage areas or amenities areas common to more than one dwelling; and
- **balconies**, eaves, **verandahs**, **courtyards** and roof **terraces**.

PRECINCT STRUCTURE PLAN – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015* and means a plan for the coordination of subdivision, zoning and **development** of an area of land.

PRIMARY GARDEN AREA – an external ground floor area for **single house** and **grouped dwellings** set aside on a **site** for the exclusive use of the occupants of the **dwelling** to which it abuts.

PRIMARY LIVING SPACE – the area within a **dwelling** that is the focus of life and activity and usually the largest room. This area is connected with the **primary garden area** or **private open space**, and includes the following room types: living room, lounge room, games room, family room, or an integrated living area that has one of these room types together with a kitchen or dining area.

PRIMARY STREET – unless otherwise designated by the local government, the sole or principal public road that provides access to the major entry (front door) to the **dwelling** or **building**.

PRIVATE OPEN SPACE – outdoor space located at ground level or on a structure that is within private ownership and provided for the exclusive use of the occupants of the **dwelling** to which it abuts and excludes car parking spaces and access ways.

PORCH – a roofed open platform attached to the front of a **dwelling**.

RESIDENTIAL BUILDING – a **building** or portion of a building, together with rooms and **outbuildings** separate from such building but incidental thereto; such building being used or intended, adapted or designed to be used for the purpose of human habitation:

- temporarily by two or more persons; or
- permanently by seven or more persons, who do not comprise a single family, but does not include a hospital or sanatorium, a prison, a hotel, a motel or a residential school.

RESIDENTIAL DEVELOPMENT – **development** of permanent accommodation for people, and may include all **dwellings**, the residential component of **mixed use development**, and **residential buildings** proposing permanent accommodation.

RIGHT-OF-WAY – a strip of land such as a **laneway**, available either for use by the general public, or a restricted section of the community, and may be created by subdivision, specific transfer, or continued use over a period of years. They may be:

- private, where the land is created in a plan of subdivision and available to landowners that are legally entitled; or
- public, where the land has been vested in the Crown.

ROOT PROTECTION AREA – an area at the base of a tree to be retained and protected and in which contain critical roots required for the survival of that tree or group of trees.

SCHEME – the **local planning scheme** that specifies zoning and **development** standards gazetted pursuant to the *Planning and Development Act 2005*, as amended.

SCHEME PLAN – has the meaning given by section 3 of the *Strata Titles Act 1985*, as amended, and for a **strata titles scheme** means the **strata plan** or **survey-strata plan** registered, or proposed to be registered, for the strata titles scheme as a scheme document.

SCREENING – permanently fixed external perforated panels or trellises composed of solid or obscured translucent panels.

SECONDARY STREET – in the case of a **site** that has access from more than one public road, a road that is not the **primary street**.

SENSE OF PLACE – the essential memorable and recognisable characteristics of an area.

SERVICE AREA – areas designated for **building** services installed to make the building functional, comfortable, efficient and safe.

SETBACK – the horizontal distance between a **wall** at any point and an adjacent **lot boundary**, measured at right angles (90 degrees) to the boundary.

SIGHTLINES – lines of clear physically uninterrupted sight.

SIGNIFICANT EXISTING TREE – an existing tree that meets the following criteria:

- healthy specimens with ongoing viability; and
- species is not included on a State or local area weed register; and
- height of at least 4m; and/or
- trunk diameter of at least 160mm, measured 1m from the ground; and/or
- average canopy diameter of at least 4m.

SINGLE ASPECT – a **dwelling** or room with openings facing primarily in one direction from a single major external **wall**.

SINGLE BEDROOM DWELLING – a **dwelling** that contains a living room and no more than one other **habitable room** that is capable of use as a bedroom.

SINGLE HOUSE – a **dwelling** standing wholly on its own **green title** or **survey-strata lot**, together with any easement over adjoining land for support of a **wall** or for access or services and excludes dwellings on titles with areas held in **common property**.

SITE –

- In the case of a **single house**, the **green title** or **survey-strata lot** on which it stands.
- In the case of a **grouped dwelling**, the area occupied by the **dwelling** together with any area allocated (whether by way of **strata title scheme** or otherwise) for the exclusive use or benefit of that dwelling.
- In the case of a **multiple dwelling** or **apartment development**, the **lot** (or **parent lot** where the lot is subdivided under **strata scheme**) on which the dwellings stand.

SITE AREA – the area of land required for the construction of a **dwelling** to satisfy the requirements of the R-Codes.

SITE COVER – site cover includes the **building** (including upper **storeys** projecting forward of the ground floor building alignment), ancillary **development** or other structure with a water impermeable roofed material, but excludes:

- **carports** and uncovered **driveways** and parking spaces;
- eaves;
- a **basement** that is constructed wholly underground;
- **pergolas** and unenclosed patios, porches and **verandahs**; and
- **unenclosed balconies** projecting forward of the **building alignment**.

SITE-RESPONSIVE – deriving from analysis of the physical characteristics of an area (such as landform, views, prevailing breezes, environmental features) and to manage constraints and opportunities to create optimum design outcomes.

SMALL DWELLING – a **single house** or **grouped dwelling** with a **dwelling** internal **floor area** no greater than 70m².

SMALL RAINFALL EVENT – the first 15mm of a rainfall event.

SOLAR ACCESS – is the ability of a **building** to continue to receive direct **sunlight** without obstruction from other buildings or impediments, not including trees.

SOLAR COLLECTORS – solar collecting components of the following: thermal heating systems, photovoltaic systems and skylights.

SOURCE OF OVERLOOKING – **major openings** and **active habitable space** with a floor level of more than 0.5m above **natural ground level**.

SPECIAL PURPOSE DWELLING – includes **ancillary dwelling**, **aged or dependent persons' dwelling** or a **single bedroom dwelling**.

STANDARD STRUCTURE PLAN – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015* and means a plan for the coordination of future subdivision and zoning of an area of land.

STORAGE – dedicated, secured and conveniently located areas for the storage of large or bulky items. This is to be in addition to any internal storage in kitchens, bathrooms and bedrooms.

STOREY – the portion of a **building** which is situated between the top of any floor and the top of the floor next above it and if there is no floor above it, that portion between the top of the floor and the ceiling above it but does not include:

- a **basement**
- a space that contains only a lift shaft, stairway or meter room
- a mezzanine
- a **loft**.

Double height floors greater than 5m floor to ceiling are counted as two floors.

STORMWATER – urban surface water runoff from rainfall events, consisting of rainfall runoff and any material (soluble and insoluble) mobilised in its path of flow.

STRATA LOT – refer to definition for a **lot in a strata scheme**.

STRATA PLAN – has the meaning given by section 4 (1a) of the *Strata Titles Act 1985*, as amended.

STRATA SCHEME – has the meaning given by section 9 of the *Strata Titles Act 1985*, as amended, and may include freehold or leasehold schemes.

STRATA TITLES SCHEME – has the meaning given by section 3 of the *Strata Titles Act 1985*, as amended, and means:

- a **strata scheme**; or
- a **survey-strata scheme**.

STREET – any public road, **communal street**, private street, **right-of-way** or other shared access way that provides the principal **frontage** to a **dwelling** but does not include an access leg to a single **battleaxe lot**.

STREET BOUNDARY – the boundary between the land comprising a **street** and the lands that abuts thereon.

STREETSCAPE – the visible components in a **street** between the facing **buildings**, including the form of the buildings, **garages**, **setbacks**, fencing, **driveways**, utility services, street surfaces, street trees and street furniture such as lighting, signs, barriers and bus shelters.

STREET SETBACK – the horizontal distance between the **street boundary** and a **building**, measured at right angles (90 degrees) to the **street boundary**.

STREET SETBACK AREA – the area between the **street boundary** and a **building**.

STREET SETBACK LINE – the minimum distance between the **street boundary** and a **building** in accordance with *Table B*.

STRUCTURE PLAN – as defined under the *Planning and Development (Local Planning Schemes) Regulations 2015* and means a **standard structure plan** or a **precinct structure plan**.

STUDIO – a **dwelling** consisting of one **habitable room** that combines kitchen, living and sleeping space.

SUNLIGHT – direct beam radiation from the sun.

SURVEY-STRATA – a **lot** and associated **common property** as shown on a registered **survey-strata plan** prepared in accordance with section 4(1b) of the *Strata Titles Act 1985*, as amended.

SURVEY-STRATA LOT – refer to definition for **lot in a survey-strata scheme**.

SURVEY-STRATA PLAN – has the meaning given by section 3 of the *Strata Titles Act 1985*, as amended, and means a **scheme plan** for a **survey-strata scheme**.

SURVEY-STRATA SCHEME – has the meaning given by section 9 of the *Strata Titles Act 1985*, as amended, and may include **freehold** or **leasehold schemes**.

SUSTAINABILITY/SUSTAINABLE – meeting the needs of current and future generations through the integration of environmental protection, social advancement and economic prosperity.

SUSTAINABILITY INFRASTRUCTURE – sustainability infrastructure including, but not limited to **solar collectors**, invertors, batteries, electric vehicle charging, roof vents and rainwater tanks.

TERRACE – an outdoor area, usually paved and unroofed, that is connected to a **dwelling** and accessible from at least one room. May be **at-grade** or on a structure such as a podium or a roof.

THROUGH-LOT – a **lot** other than a **corner lot** with **frontage** to more than one constructed public **street** other than a **right-of-way**.

UNENCLOSED – An area that is not **enclosed**.

UNIVERSALLY ACCESSIBLE – having features to enable use by people with a disability as defined by the **NCC**.

UNIVERSAL DESIGN – the design of products and environments that are inherently **universally accessible**, including older people and people with disability.

VERANDAH – a roofed open platform attached to a **dwelling**.

VISUALLY PERMEABLE – *in* reference to a wall, gate, door, screen or fence that the vertical surface, when viewed directly from the **street** or other public space, has:

- continuous vertical or horizontal gaps of 50mm or greater width occupying not less than one third of the total surface area;
- continuous vertical or horizontal gaps less than 50mm in width, occupying at least one half of the total surface area in aggregate; or
- a surface offering equal or lesser obstruction to view.

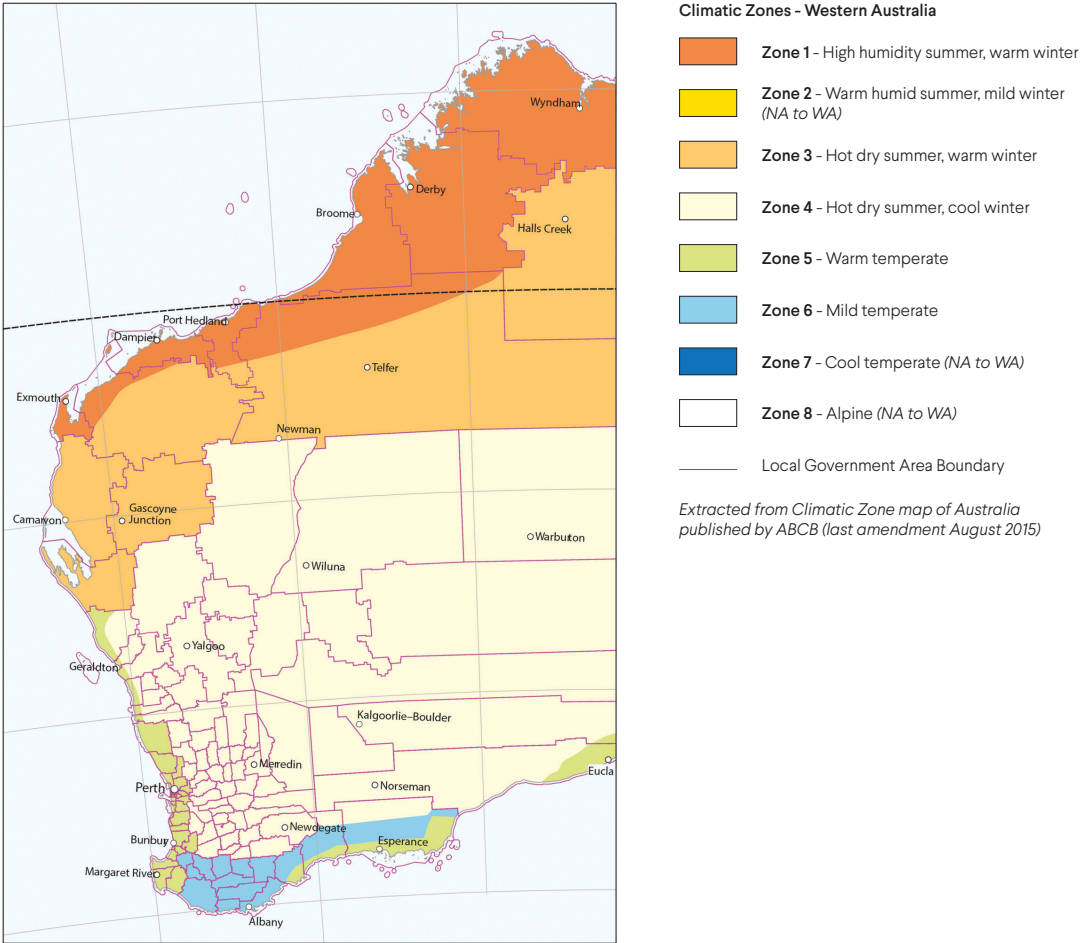
WALKABLE CATCHMENT – the actual area served within a walking distance along the **street** system from a public transport stop, town or neighbourhood centre.

WALL – the vertical external face of a constructed **building** comprising solid building material and including enclosures to **verandahs** and **balconies**.

WAPC – Western Australian Planning Commission.

WINTER SOLAR GAIN – the heating of the **building** interior due to **sunlight** penetration through windows or heating of the building mass.

Climate zones for Western Australia



A2 Context and site analysis

The list below outlines the recommended documentation to assist in the preparation of context and site analysis and design response.

Category	Materials
Neighbourhood context	<p>A plan or aerial photo showing the site in relation to neighbourhood context including the location of:</p> <ul style="list-style-type: none"> i. civic / community and activity centres including local shops, schools and libraries ii. public open space and bushland, such as parks and sporting ovals iii. transport within a 5-10 minute walk. Include walkable catchments from the site (show a 400m radius and 800m radius circle from the site)
Street context	<p>Plan(s), photographs or other documentation of features of the street context, including properties adjoining the development site and on the other side of the street, to show:</p> <ul style="list-style-type: none"> i. prevailing breezes, and shadows from natural or built features ii. surrounding built form patterns and typologies, including existing and proposed building envelopes and heights (storeys and metres), important parapet/datum lines of adjacent buildings, setbacks and subdivision pattern iii. patterns of building frontages, street setbacks and side setbacks iv. streetscape including land uses and planned development, staging or redevelopment outcomes v. movement and access for vehicles (including service vehicles), pedestrians and cyclists vi. topography, landscape, open spaces and vegetation vii. significant views to and from the site viii. any sources of nuisance emissions in the vicinity of the site such as noise, light, and odour, that may have a bearing on the residential proposal, particularly vehicular traffic, train, aircraft and industrial noise ix. location of relevant heritage places or features, areas of environmental significance, and elements of cultural significance
Site context	<p>A site plan showing at scale the following features:</p> <ul style="list-style-type: none"> i. lot boundaries, site dimensions, site area, north point, street frontage, street name, lot number and address ii. geotechnical conditions including rock outcrops, watercourses iii. topography showing relative levels and contours at 0.5 metre intervals for the site and across site boundaries where level changes exist iv. unique geological features, such as watercourses, bores and rock outcrops v. location, type and size of significant existing trees and/or significant landscaping features on site and on adjoining streets and properties, including relative levels where relevant; vi. location, use, dimensions, setback distances of existing buildings or built features (including outbuildings, retaining walls and other structures) on the site vii. locations and levels of existing buildings and structures on adjacent lots that might affect, or be affected by, the proposed development, including habitable room windows, solar collectors, and designated primary garden areas or private open space, walls and fences, parapets and ridge lines, and any other relevant features viii. pedestrian and vehicular access points, driveways and features such as crossovers, truncations, service poles, bus stops, fire hydrants and access restrictions (e.g. road islands adjacent to the site) ix. location of services utilities and infrastructure, including water, gas, power, solar collectors, telecommunications, sewerage and drainage, and accompanying inspection points and easements
Design response	<p>Sketches, drawings or diagrams as needed, to demonstrate response to context and site.</p>

A3 Application documentation

The list below outlines the documentation recommended to be submitted for an application for **residential development** under R-Codes Volume 1. Proponents should also refer to application requirements that may be specific to a **decision-maker**. The recommended material is in addition to that required under cl. 63, part 8 in Schedule 2 of the Regulations. Some of the material will not be relevant for all applications and material should be prepared and submitted that is appropriate for site specific reasons such as scale, complexity or design approach. Early consultation should be undertaken with the decision-maker to confirm application documentation requirements. Where the application is for an addition or alteration to an existing **dwelling**, the material submitted should relate to the alteration or addition.

Application requirements legend

- ✓ Information necessary to inform assessment
- Information may be needed dependent on circumstances
- ✗ Information unlikely to be required

Category	Materials	Proposal Type			
		Part B <i>All residential development</i>	Part B & C <i>Addition or alteration to existing dwelling</i>	Part C <i>Single house or grouped dwelling</i>	Part C <i>Multiple dwelling or larger scale grouped or mixed proposals</i>
Development proposal summary	Summary table or document of key details of the development proposal, including the following: <ul style="list-style-type: none"> i. compliance of proposal with objective and relevant provisions of local planning framework for development site ii. proposed average and minimum site areas iii. number, height, mix, size and accessibility of the development iv. number of parking spaces for occupants, visitors, bicycles and motorcycle/scooters (where required by decision-maker) 	✓	✗	✓	✓
Context and site analysis and design response	Documentation prepared during the project investigation phase. Refer <i>A2 Context and site analysis</i> .	✓	—	✓	✓
SPP7.0 Design Principles statement	A statement of key points to document how the proposal satisfies the 10 Design Principles of State Planning Policy 7.0 <i>Design of the Built Environment</i> (where required by decision-maker)	—	✗	—	✓
R-Codes Vol.1 Design Principles	Justification for where an element design principle pathway is to apply, rather than the deemed-to-comply provision. This justification may refer to the findings from the context and site analysis, intent, SPP 7.0 design principles , and local planning framework and R Codes Volume 1 objectives as justification in support of the design principle pathway.	✓	✓	✓	✓
Other supporting information	<ul style="list-style-type: none"> i. Waste Management Plan (where required by decision-maker) ii. Illustrative views (where required by decision-maker) 	✗	✗	—	✓

Category	Materials	Proposal Type			
		Part B <i>All residential development</i>	Part B & C <i>Addition or alteration to existing dwelling</i>	Part C <i>Single house or grouped dwelling</i>	Part C <i>Multiple dwelling or larger scale grouped or mixed proposals</i>
Site plan	<p>Scale drawing (typically 1:100) showing:</p> <ul style="list-style-type: none"> i. property details, north point and scale bar, and existing contours and/or spot levels ii. the position and dimension of major openings to any active habitable spaces in a wall of an adjoining building, private open spaces, and primary garden areas, within 6m of a boundary of a development site iii. the position, type, and size of any existing trees (indicate which are to be retained and which are to be removed) and/or significant landscaping features iv. the position and level of proposed and existing buildings, street fences, retaining walls and other structures v. location and size of primary garden area, private open space, including areas to be landscaped vi. proposed finished site levels (if any change from existing levels) vii. the position of access-ways for pedestrians and vehicle, and on-site and off-site car parking spaces viii. site area boundaries including any proposed strata lots (where required by decision-maker) ix. the horizontal position, floor levels and positions of all openings of existing and proposed building(s) x. details of measures proposed to reduce overlooking, indicating cone of vision as they relate to the adjoining properties 	✓	✓	✓	✓
Development drawings	<p>Scale drawing (typically 1:100) showing:</p> <ul style="list-style-type: none"> i. all floor plans, including lengths, articulation and their distances from the boundaries of the site ii. internal floor plans and layouts for proposed dwellings/extensions – this includes window position, indicative furniture layouts, room dimensions and room names, size of circulation space iii. location and dimension of primary garden areas, deep soil areas, private open spaces and service areas iv. dimension of storage areas, waste management and parking v. all elevations, including all privacy devices, service utilities and infrastructure, with the existing and natural ground levels, wall heights and total building heights related to Australian Height Datum (AHD), contours at maximum intervals of 0.5m vi. proposed materials, colours and finishes of the exterior of the development, including façade, roof and dwelling entries vii. cross-sections through any proposed areas of excavation or fill with the relevant existing, natural and proposed levels related to Australian Height Datum (AHD), contours at maximum intervals of 0.5m viii. ceiling heights for primary living space ix. sufficient details and accompanying information to demonstrate compliance with the relevant provisions of universally accessible dwellings AS4299 Adaptable housing and Livable Housing Design Guidelines (Livable Housing Australia, 2017) (where required by decision-maker) 	✓	✓	✓	✓

Category	Materials	Proposal Type			
		Part B <i>All residential development</i>	Part B & C <i>Addition or alteration to existing dwelling</i>	Part C <i>Single house or grouped dwelling</i>	Part C <i>Multiple dwelling or larger scale grouped or mixed proposals</i>
Landscape plan	<p>Scale drawing (typically 1:100) showing:</p> <ul style="list-style-type: none"> i. the development footprint and site boundary ii. street tree location iii. existing on-site trees to be removed and trees to be retained, including trunk, canopy size and root protection areas iv. position and size (canopy and height) of trees on adjoining properties, and root protection areas v. position, type, and size of proposed trees to be planted on site including root protection areas vi. position, type, and size of proposed soft landscaping, including groundcovers and shrubs and/or significant landscaping features vii. size and dimension of deep soil areas viii. communal open spaces where provided ix. the position of built landscape elements, including fences, pathways, swimming pools and spas, pergolas, walls, retaining walls, planters and water features x. type of permeable, semi-permeable and impermeable surfaces including roof cover and ground surfaces, indicating the size of deep soil area encroachments xi. stormwater management and irrigation concept design xii. site lighting 	✓	✗	✓	✓
Building performance diagrams	<p>Scale drawing showing:</p> <ul style="list-style-type: none"> i. plans and sections of sufficient information to explain how the adjoining properties could be affected by visual privacy and the appropriate measures applied ii. plans and sections of sufficient information (including primary living spaces and solar collectors of adjoining properties) to explain how the adjoining properties would be affected by overshadowing iii. a solar diagram showing solar access for the primary living space and communal open space where provided iv. location and size of openings to habitable rooms to demonstrate natural ventilation v. sections where necessary to demonstrate shading achieved through shading structures such as eaves, louvres or awnings 	✓	—	✓	✓