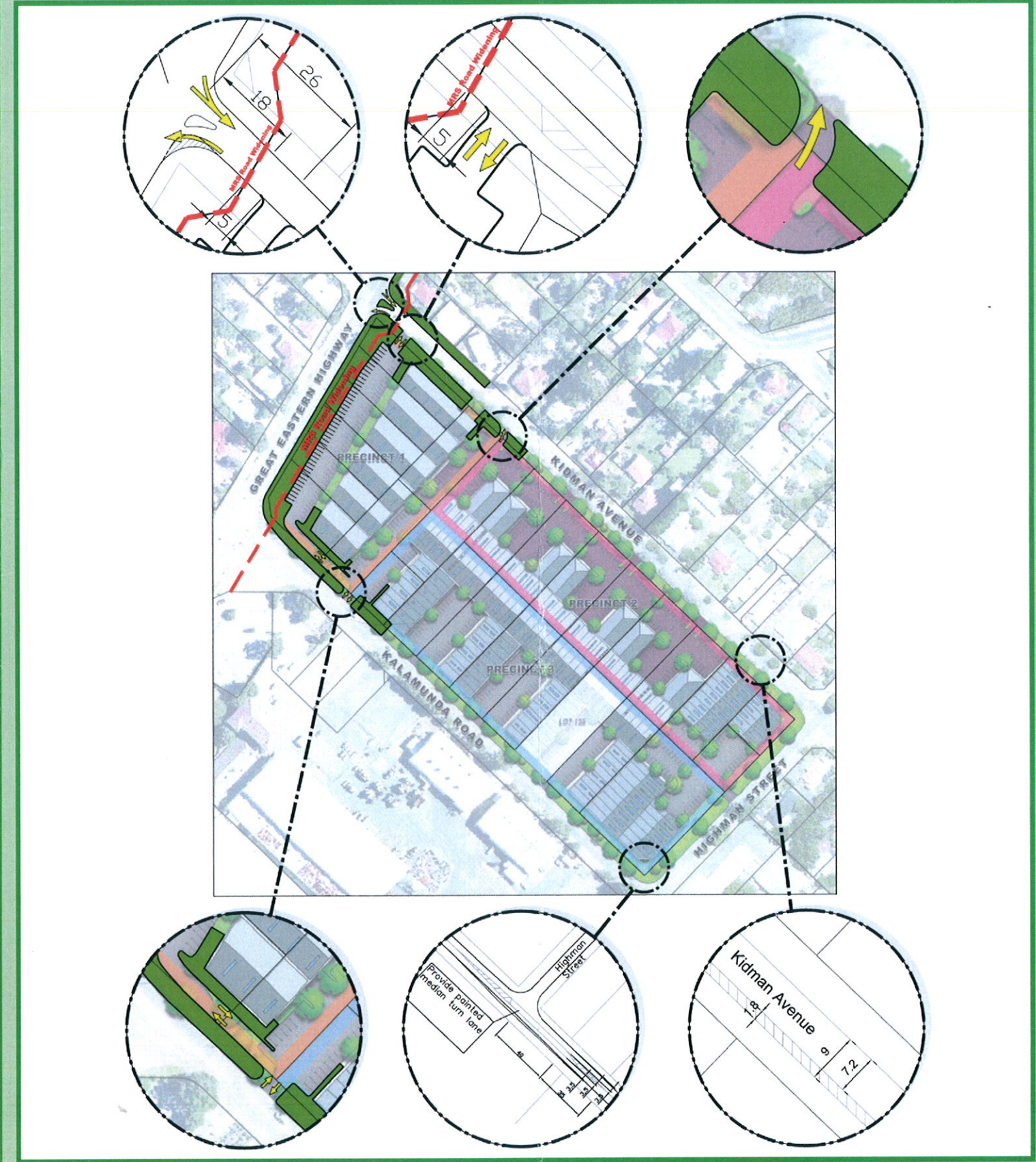


Centurion Transport Site - Structure Plan



Centurion Transport Site - Traffic Plan



STRUCTURE PLAN NO. PA442/2007/1

This Structure Plan was granted final approval by the City of Swan on 3/9/08

M J Foley
Chief Executive Officer

CITY OF SWAN
Planning Information
ECM Doc Set ID: 5122482
Approval Date: 3/09/2008

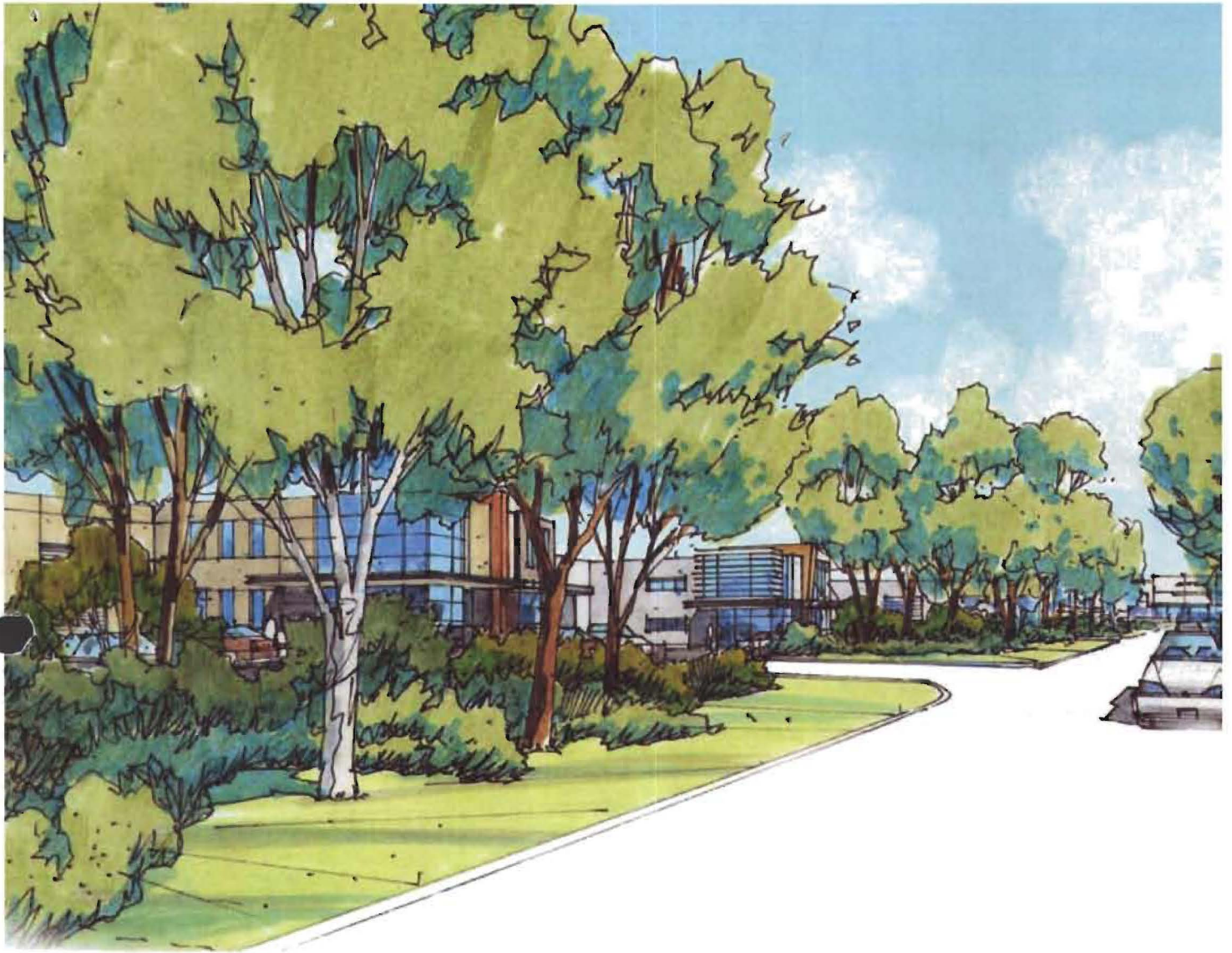
Disclaimer:
The City makes every attempt to keep its published records up to date; however the subject document may have been superseded by a more recently approved document.

This Structure Plan was approved by the Western Australian Planning Commission on NA

for Secretary
Western Australian Planning Commission

CITY OF SWAN
24 SEP 2008
RECEIVED

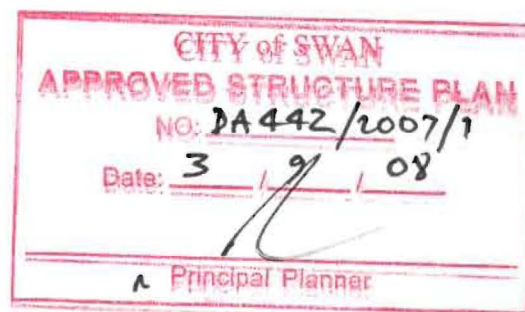




KIDMAN AVENUE (SOUTH GUILDFORD)

DESIGN GUIDELINES

March 2008



ENDORSEMENT PAGE

This structure plan is prepared under the provisions of the City of Swan Local Planning Scheme No. 17.

IT IS CERTIFIED THAT THIS STRUCTURE PLAN WAS APPROVED BY RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING COMMISSION ON:

03 SEPTEMBER 2008

In accordance with Schedule 2, Part 4, Clause 28 (2) and refer to Part 1, 2. (b) of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

Date of Expiry:

19 OCTOBER 2028

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PART 1

1.1 INTRODUCTION

These Design Guidelines have been prepared to provide guidance to the future redevelopment within the Kidman Avenue Development Area and more specifically address the following interface impacts with the nearby residential development including:

- a) Amenity impacts on the existing residential properties fronting Kidman Avenue, including traffic, noise, and streetscape interface
- b) Potential conflicts between existing residential development and business operations

The Design Guidelines have incorporated specific development provisions to address and minimise any potential amenity impacts associated with the operation of businesses within the Development Area on the nearby residential development, whilst also providing for attractive and viable business premises.

The Kidman Avenue Development Area forms part of the broader Centurion Transport Concept Development Area, which is bounded by Great Eastern Highway, Kalamunda Road, Highman Street and Kidman Avenue, South Guildford. An aerial photo identifying the boundaries of the Centurion Transport site is at **Attachment 1**.

The Kidman Avenue Development Area is currently zoned 'Industrial Development' under the City of Swan Town Planning Scheme No 17.

1.2 POLICY AREA

These Design Guidelines apply to the portion of land (Development Area) located on the western side of Kidman Avenue between Great Eastern Highway and Highman Street as detailed on the plan at **Figure 1** below.

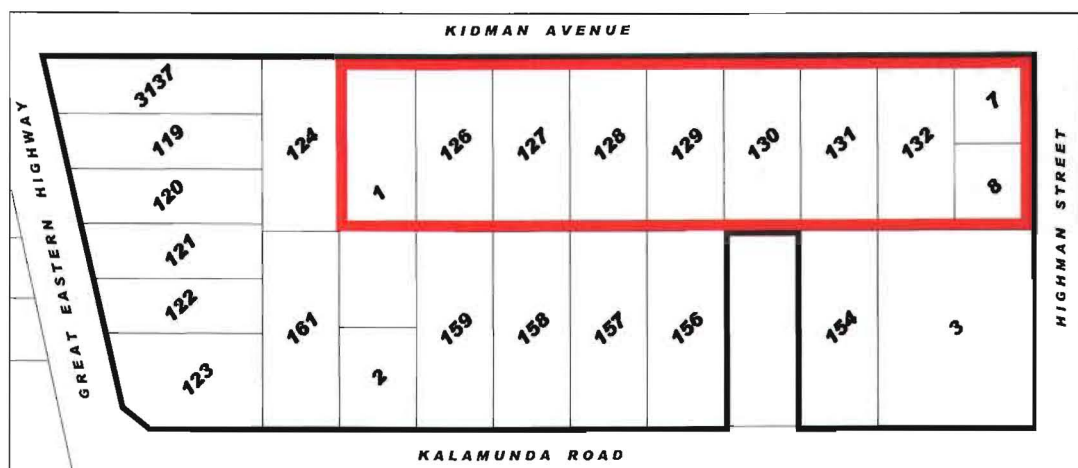


Figure 1 - Development Area

PART 2

2.1 PLANNING OBJECTIVES

The planning objectives for the Kidman Avenue Design Guidelines are as follows:

- a) To address any potential adverse amenity impacts on the adjoining residential development;
- b) To deliver a high quality building forms fronting Kidman Avenue;
- c) To provide a coordinated and consistent development format fronting Kidman Avenue;
- d) To deliver climate responsive building designs;
- e) To deliver an integrated development outcomes;
- f) To avoid unsightly and poorly planned development outcomes

2.2 RELATIONSHIP TO LOCAL GOVERNMENT PLANNING

These Design Guidelines have been adopted by the City of Swan under Clause 2.2 (Local Planning Policy) of Town Planning Scheme No 17 and should be read in conjunction with the Town Planning Scheme No 17 text and other planning policies. In determining any development application for planning approval within the Kidman Avenue Development Area, the City shall have due regard to these Design Guidelines.

2.3 DEVELOPMENT APPROVALS

Development Approval (DA) is required by the City of Swan under the provisions of Town Planning Scheme No 17 and a Building Licence is required, prior to construction commencing on any site.

It should be noted that the City of Swan will not process applications for either Planning Approval or Building Licence unless the plans and specifications are consistent with the development provisions contained within these Design Guidelines.

A) APPROVAL PROCESS

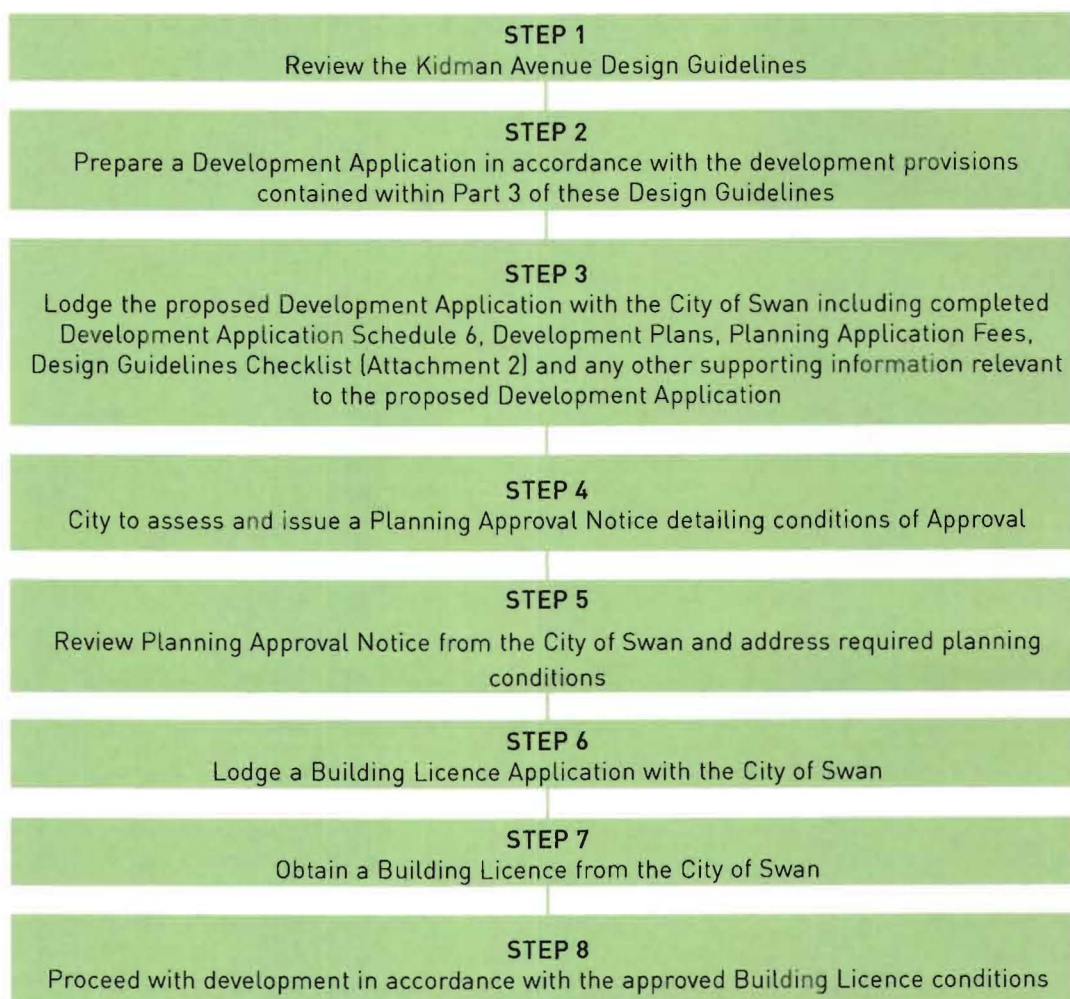
Before undertaking any development on the land an owner or their agent should:

- i. Review the relevant development provisions contained within these Design Guidelines [refer Part 3] and ensure the intended development is compliant;
- ii. Lodge the completed Development Application - Schedule 6, Design Guidelines Checklist and all appropriate drawings, plans and specifications to the City of Swan for assessment and determination. Copies of the Development Application - Schedule 6 and Design Guidelines Checklist are at **Attachment 2**.

Once the City has approved the Development Application and issued a Development Approval Notice [Planning Approval] for the subject development, then a Building Application can be sought from the City [separate process]. Note that the Building Application should be consistent with the Development Approval Notice.

PART 2

B) APPROVAL PROCESS FLOWCHART



C) DESIGN GUIDELINES CHECKLIST

The Design Guidelines Checklist at **Attachment 2** identifies all of the relevant development provisions that need to be addressed to ensure the Development Application (DA) lodged with the City is deemed to be compliant.

The Design Guidelines Checklist must be completed by the applicant and lodged with the City of Swan as part of any Development Application for each lot contained within the Kidman Avenue Development Area (refer **Figure 1** above).

2.4 DEVELOPMENT VARIATIONS

The City of Swan at its absolute discretion may vary any of the development provisions detailed within Part 3 of these Design Guidelines providing that the variation is consistent with the development objectives as detailed within Part 3 and does not compromise the overall design integrity of the Kidman Avenue Development Area.

PART 3

3.1 DEVELOPMENT PROVISIONS

All development located within the Kidman Avenue Development Area will need to be designed to meet the following development provisions to be considered as a compliant Development Application.

A) LODGMENT OF DEVELOPMENT APPLICATIONS

The following information must be included with all development application to be lodged with the City of Swan for determination:

- Completed Design Guidelines Checklist [refer **Attachment 2**];
- Completed Development Application - Schedule 6 [refer **Attachment 2**];
- A copy of the Certificate of Title of the lot(s) involved in the application;
- Details of any easement or restrictive covenant affecting the land;
- Site Plan including:
 - a. Title block [containing name and date drawn];
 - b. Scale and north arrow;
 - c. Property lines of building site, dimensioned and contours shown;
 - d. Proposed levels;
 - e. Streets - location and name;
 - f. Other significant site features;
 - g. Location of vehicle parking/storage;
 - h. Location and design of all proposed buildings including access driveways, paths, walls, screens, fences and all mechanical equipment.
- Sign (s) location, height, design and dimensions
- Landscape Plan including trees, shrubs, groundcovers and reticulation systems
- Floor Plans for all buildings [scale 1:100] including locations of window and door openings, extent of eaves, awnings, internal fit outs and amenities;
- Elevations for all buildings [scale 1:100] including external materials, finishes and colours

B) LAND USE/BUSINESS TYPES

Objective: To ensure that business types are sympathetic with the existing residential development fronting Kidman Avenue

The following business types are considered (subject to Council approval) to be sympathetic with the existing residential development fronting Kidman Avenue in terms of operating hours, noise, amenity impacts, traffic volumes, development scale and business activity.

The business types listed below are classified 'P' uses under the City of Swan Town Planning Scheme No 17 and are deemed permitted land uses [per the Light Industry Zone]

PART 3

Land Uses

- Industry-Cottage
- Industry-Light
- Industry-Service
- Radio & TV Installation (Private)
- Recreation (Public)
- Storage
- Trade Display
- Warehouse

The business types listed below are classified as 'D' uses under the City of Swan Town Planning Scheme No 17 and are not permit unless Council has exercised its discretion to grant approval

Land Uses

- Education Establishment
- Food or Beverage Production
- Recreation (Private)

C) BUILDING FAÇADE DESIGN

Objective: To deliver a high quality built form that is visually appealing

Development Provisions

- Building façade designs to generally reflect the building style and form as detailed within the sample images detailed within **Figure 2** and Artist Impressions at **Attachment 4**
- Building height fronting Kidman Avenue (front zone only) to be restricted to no higher than 10m above finished floor level (FFL)
- Treatments to be incorporated into the front building façade (office area) to provide shelter and shade to building entries and articulate the vertical building facade
- At least 50% of the office façade fronting Kidman Avenue is to incorporate windows and main customer entry to improve visual appearance and passive solar penetration
- Office and amenities areas to be located within a front building zone with service and work areas designated to the rear building zone
- The façade of the building shall be designed to express vertical proportions and to provide interest through the inclusion of complementary architectural elements and treatments

PART 3

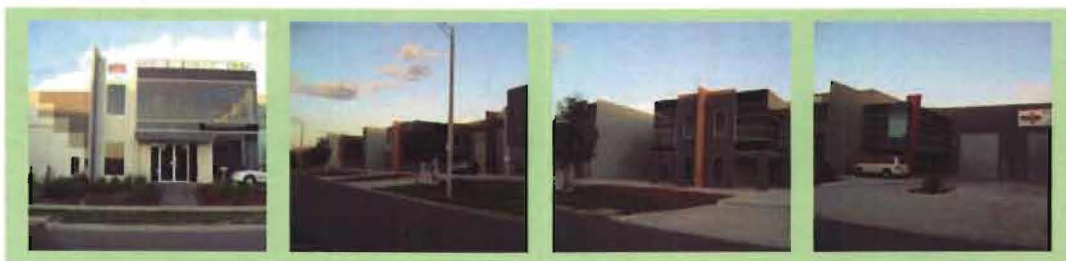


Figure 2

- The building façade is to incorporate a mixture of building materials including brick, stone, concrete, colourbond, hardiboard, glass or render etc to create visual interest and variation
- The front office entry is to be clearly expressed and provide a corporate image that invites entrance.
- The Street façade is to be an active contributing element to the streetscape.
- Accent materials and colours to be applied to elements of the built form (refer examples within **Figure 2**) but avoid use of single colour treatments that are overpowering and impact on the visual appeal of the streetscape.

Applicant to demonstrate how compliance with the above provisions is achieved.

D) CLIMATE RESPONSIVE BUILDING

Objective: To provide a building form that effectively harvests solar, wind and water

Development Provisions

- All developments to apply the PEC Principles (Passive Design, Improved Efficiency and Reduced Consumption) to achieved more efficient use of water and energy as outlined below.
 - a. **Passive Design** - Developments shall (where practicable) meet passive design principles by harvesting available solar, wind and water to improved development efficiency and operations (eg solar orientation, water tanks, breezeways, shading)
 - b. **Improved Efficiency** - Developments shall install appliances and fittings designed to improve the efficient use of energy and water (eg star rated appliances and fittings, sensors, water wise vegetation, solar hot water(if required)
 - c. **Reduced Consumption** – Developments shall apply operational, process and management improvements to reduce overall energy and water consumption (eg water and energy audits, technological innovation)

Applicant to demonstrate how the PEC principles have been applied to the development.

- Where practical buildings are to be designed to harvest breezes (building ventilation and cooling), solar (natural light and winter heating) and water runoff (irrigation of landscaped areas)
- Water saving fittings and appliances are to achieve a minimum 3 star rating
- Pale coloured roof and wall materials to be utilized to reduce heat gain in summer.
- Roof ducts are to be installed to remove excess heat from ceiling voids in summer.
- Lower energy (4 star energy rating) light fittings and appliances are to be installed;

PART 3

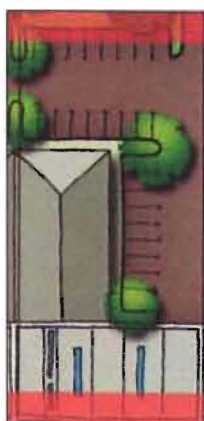
- Front Building Zone (front office) to achieve a minimum 4 star energy rating
- Rear Building zone (work area) to achieve a minimum 3 star energy rating
- Heating and cooling systems to achieve a minimum 4 star energy rating
- Ceiling insulation (front zone) to achieve R2.5 or greater
- Wall insulation (front zone) to achieve R1.5 or greater.
- Install awnings ,shade shelter and landscaping to reduce heat loading on buildings
- External solar powered security lighting is encouraged to reduce overall all energy consumption

E) SITE LAYOUT

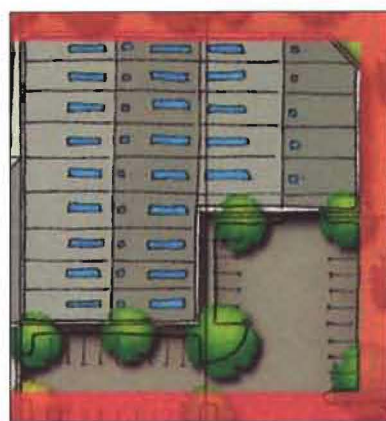
Objective: To ensure that building layout are consistent and coordinated to ensure the most efficient and effective use of developable land

Development Provisions

- Building layouts to generally conform with the Site Plan at **Attachment 3** and detailed in **Figure 3** below



Layout 1
[Standard Building Format]



Layout 2
[Corner Development]

- Building shall be setback in accordance with the requirements specified in **Figure 4** below

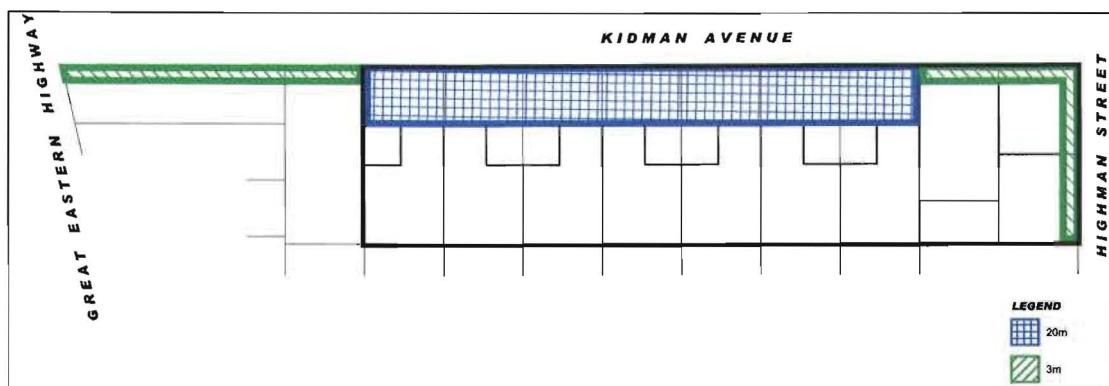


Figure 4

PART 3

F) LANDSCAPING

Objective: To provide quality landscaping treatments that complies with water wise design principles

Development Provisions

- The Kidman Avenue verge is to be developed in accordance with the approved Landscape Master Plan at **Attachment 5**
- All developments to provide a landscape plan (at 1:100 or 1:200 scale) which details of the landscaping proposed within the lot accordance with the approved Landscape Master Plan at **Attachment 5**
- 5% of the total lot area and the Kidman Avenue verge shall be set aside for landscaping purposes and designed and planted in accordance with the approved Landscape Master Plan at **Attachment 5**
- A 3.0 metre wide landscape strip is to be provided for each development (adjoining the Kidman Avenue verge) to screen the front car parking areas
- Landscaping should be designed in accordance with water sensitive design principles (native plants, low water vegetation, drip irrigation and mulch)
- All developments to provide 1 shade tree for every 4 car-parking bays
- The verge and the adjoining landscaped strip area to be reticulated through using drip irrigation system wherever appropriate
- Native shade trees and vegetation are to be utilized to screen the car-park and building areas
- Storm water runoff from the car parking areas is to be directed to landscaped areas
- Stormwater to be retained on-site
- Landowners shall be responsible for the ongoing irrigation and maintenance of the landscape areas (including the 3.0m wide landscaping strip and adjoining Kidman Avenue verge area in accordance with the approved Landscape Master Plan at **Attachment 5**)

G) PARKING AND CROSSOVERS

Objective: To provide an integrated car parking layout that facilitated shared parking arrangements

Development Provisions

- Development parking layouts are to be designed in accordance with the Site Plan at **Attachment 3**
- On site car parking bays should be designed in accordance with the design specifications identified the City of Swan Vehicle Parking Standards
- All customer car parking areas fronting Kidman Avenue must be treated with red asphalt or equivalent to improve visual appearance
- Location and design of all crossover points fronting Kidman Avenue are to be in accordance with the approved Landscape Master Plan at **Attachment 5**

PART 3

H) DELIVERY AND LOADING

Objective: To reduce any potential adverse amenity impacts associated with the operation of the development

Development Provisions

- All internal loading areas to be screened (roller doors) and setback from Kidman Avenue to conform with Site Plan at **Attachment 3**
- All external loading areas to be designed to reduce noise impacts. Applicant to demonstrate how this is achieved

I) SIGNAGE

Objective: To ensure business signage is coordinated and integrated into the overall building design and creates no adverse impacts on the adjoining residential development

Development Provisions

- Business signage is to be integrated into the overall building design within designated location on the front building façade.
- Business signage must comply with the relevant provisions contained within City of Swan Town Planning Scheme No 17, Policies and Building Codes
- No pylon or roof signage shall be permitted along Kidman Avenue

J) SECURITY FENCING

Objective: To ensure that all fencing is integrated into the overall building design and discrete

Development Provisions

- Security fencing is to be discrete, setback from the street and integrated into the overall development design
- Front fencing (if required) is to be setback to align with the building facades and integrated with the building design.

K) SECURITY LIGHTING

Objective: To ensure that all security lighting is discrete and light spill contained within the property boundaries

Development Provisions

- External lighting shall be discrete and light spill to be contained within the property boundaries and comply with AS - Obtrusive Lighting

PART 3

L] SPECIAL DEVELOPMENT (LOTS 7 AND 8 HIGHMAN STREET AND LOT 132 KIDMAN AVENUE

Objective: To ensure that a high quality and visually appearing development is developed at the intersection Kidman Avenue and Highman Street

Development Provisions

- The development layout is to be generally designed in accordance with the Site Plan at **Attachment 3**, unless otherwise approved by Council
- Any development should to be designed to address the street edge and provide a strong corporate image
- A 3.0m building setback is to be provided on both Highman Street and Kidman Avenue frontages (refer **Figure 3**)
- Car park node is to be located at the rear of the development lots and accessed from Highman Street (refer **Attachment 3**)
- All other development provisions as outlined above (refer Part 3) are applicable to development on Lots 7 and 8 Highman Street and Lot 132 Kidman Avenue, unless otherwise approved by Council

PART 4

4.1 AMENITY MANAGEMENT

A) NOISE MANAGEMENT

Development Provisions

- The overall noise generated from the operation of any business shall not exceed the maximum noise limits as prescribed by the EPA at the front lot boundary
- Any potential noise generating equipment is to be operated within the building to be adequately buffered to prevent external noise impacts

B) DELIVERY MANAGEMENT

Development Provisions

- Delivery vehicles are limited to heavy, rigid non articulated vehicles as defined by MRWA
- All delivery vehicles are to load and unload within the designated loading areas
- Delivery vehicles shall not undertake any loading or unloading in the front customer parking area or along the Kidman Avenue road reserve

Delivery times shall be limited to:

Monday to Friday	7.00am – 6.00pm
Saturday	7.00am – 5.00pm
Sunday	Closed

C) DUST MANAGEMENT

Development Provisions

- Dust suppression is to be undertaken as per the EPA requirements during any land clearing, demolition or construction works
- Any potential dust generating equipment operating within the building is to adequately enclosed to prevent external dust impacts

D) ODOUR MANAGEMENT

Development Provisions

- All developments must comply with AS minimum fresh air rates
- All developments must operate so as not to produce or create adverse odour impacting on adjoining business or nearby residents

E) CONSTRUCTION MANAGEMENT

Development Provisions

- Site construction is to be undertaken to minimize building waste
- All development sites are to be suitably fenced during construction
- All construction and demolition works to comply the relevant EPA regulations in respect to noise and dust management
- All developments are to prepare a site construction plan as part of the Building Licence process addressing construction works process, construction parking and deliveries, dust and noise management, work hours, waste management and site safety.

PART 4

F) PARKING MANAGEMENT

Development Provisions

- No parking shall be permitted on the western side of Kidman Avenue during normal business hours (8.00am – 6.00pm on Monday to Friday)
- The western verge area is to be adequately sign posted to outline the parking time restrictions
- Shared car parking arrangements are encouraged between development sites to accommodate parking distribution

G) LANDSCAPE MANAGEMENT

Development Provisions

- All development lots to be landscaped in accordance with the approved Landscape Master Plan (refer **Attachment 5.**)
- All lot owners shall be responsible for the design, installation and irrigation of the designated landscaped areas within their lots.
- Once installed the landowner will be responsible for the ongoing irrigation and maintenance of the designated landscaped areas.

ATTACHMENT 1

AERIAL PHOTO OF THE CENTURION TRANSPORT CONCEPT DEVELOPMENT AREA



Aerial Photo - Centurion Transport Concept Development Area

ATTACHMENT 2

CITY OF SWAN PLANNING APPLICATION - SCHEDULE 6 AND DESIGN GUIDELINES CHECKLIST

Schedule 6 — Form of Application for Planning Approval

[cl. 9.1.1]

Application for Planning Approval

Owner details			
Name:			
Address:			
Postcode:			
Phone:	Fax:	E-mail:	
(work):	(home):		
(mobile):			
Contact person:			
Signature:		Date:	
Signature:		Date:	
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature.</i>			
Applicant details			
Name:			
Address:			
Postcode:			
Phone:	Fax:	E-mail:	
(work):	(home):		
(mobile):			
Contact person for correspondence:			
Signature:		Date:	
Property details			
Lot No:	House/Street No:	Location No:	
Diagram or Plan No:	Certificate of Title Vol. No:	Folio:	
Diagram or Plan No:	Certificate of Title Vol. No:	Folio:	
Title encumbrances (e.g. easements, restrictive covenants):			
Street name:		Suburb:	
Nearest street intersection:			
Existing building/land use:			
Description of proposed development and/or use:			
Nature of any existing buildings and/or use:			
Approximate cost of proposed development:			
Estimated time of completion:			
OFFICE USE ONLY			
Acceptance Officer's initials:		Date received:	
Local government reference no:			

(The content of the form of application must conform to Schedule 6 but minor variations may be permitted to the format.)

KIDMAN AVENUE DESIGN GUIDELINE CHECKLIST

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
1	LODGMET OF DEVELOPMENT APPLICATIONS			
a	Completed Design Guidelines Checklist			
b	Completed Development Application - Schedule 6			
c	Copy of the Certificate of Title for the relevant lot(s);			
d	Details of any easement or restrictive covenant affecting the land;			
e	Site Plan including			
	i. Title block (containing name and date drawn);			
	ii. Scale and north arrow;			
	iii. Property lines of building site, dimensioned and contours shown			
	iv. Proposed levels;			
	v. Street (s) location and name (s);			
	vi. Other significant site features;			
	vii. Location of vehicle parking/storage;			
	viii. Location and design of all proposed buildings including access driveways, paths, walls, screens, fences and all mechanical equipment.			
f	Sign (s) location, height, design and dimensions			
g	Landscape Plan including trees, shrubs, groundcovers and reticulation systems			
h	Floor Plans for all buildings (scale 1:100) including locations of window and door openings, extent of eaves, awnings, internal layout and amenities			
i	Elevations for all buildings (scale 1:100) including external materials, finishes and colours			
2	LAND USE/BUSINESS TYPES			
a	Land Uses			
	Industry - Cottage			
	Industry - Light			
	Industry - Service			
	Radio & TV Installation (Private)			
	Recreation (Public)			
	Storage			
	Trade Display			
	Warehouse			

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
b	Land Uses			
	Education Establishment			
	Food or Beverage Production			
	Recreation (Private)			
3	BUILDING FAÇADE DESIGN			
a	Building façade designs to generally reflect the building style and form as detailed within the sample images at Figure 2 and Artist Impressions at Attachment 4 in the Design Guidelines			
b	Building height fronting Kidman Avenue (front zone only) to be no higher than 10m above finished floor level (FFL)			
c	Treatments to be incorporated into the front building façade (office area) to provide shelter and shade to building entries and articulate the vertical building facade			
d	At least 50% of the office façade fronting Kidman Avenue is to incorporate windows and main customer entry to improve visual appearance and passive solar penetration			
e	Office and amenities areas to be located within a front building zone with service and work areas designated to the rear building zone			
f	The façade of the building shall be designed to express vertical proportions and to provide interest through the inclusion of complementary architectural elements and treatments			
g	The building façade is to incorporate a mixture of building materials including brick, stone, concrete, colourbond, hardiboard, glass or render etc to create visual interest and variation			
h	The front office entry is to be clearly expressed and provide a corporate image that invites entrance.			
i	The Street façade is to be an active contributing element to the streetscape.			
j	Accent materials and colours to be applied to elements of the built form (refer examples within Figure 2 of the Design Guidelines) but avoid use of single colour treatments that are overpowering and impact on the visual appeal of the streetscape.			
4	CLIMATE RESPONSIVE BUILDING			
a	All developments to apply the PEC Principles (Passive Design, Improved Efficiency and Reduced Consumption) and demonstrate how this is achieved			
b	Where practical buildings are to be designed to harvest breezes (building ventilation and cooling), solar (natural light and winter heating) and water runoff (irrigation of landscaped areas)			

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
c	Water saving fittings and appliances are to achieve a minimum 3 star rating			
d	Pale coloured roof and wall materials to be utilized to reduce heat gain in summer.			
e	Roof ducts are to be installed to remove excess heat from ceiling voids in summer.			
f	Lower energy (4 star energy rating) light fittings and appliances are to be installed;			
g	Front Building Zone (front office) to achieve a minimum 4 star energy rating			
h	Rear Building zone (work area) to achieve a minimum 3 star energy rating			
i	Heating and cooling systems to achieve a minimum 4 star energy rating			
j	Ceiling insulation (front zone) to achieve R2.5 or greater			
k	Wall insulation (front zone) to achieve R1.5 or greater.			
l	Install awnings ,shade shelter and landscaping to reduce heat loading on buildings			
m	External solar powered security lighting is encouraged to reduce overall all energy consumption			
5 SITE LAYOUT				
a	Building layouts to generally conform with the Site Plan at Attachment 3 of the Design Guidelines			
b	Building shall be setback in accordance with the requirements specified in Figure 3 of the Design Guidelines			
6 LANDSCAPING				
a	The Kidman Avenue verge is to be developed in accordance with the approved Landscape Master Plan at Attachment 5 of the Design Guidelines;			
b	All developments to provide a landscape plan (at 1:100 or 1:200 scale) which details of the landscaping proposed within the lot accordance with the approved Landscape Master Plan at Attachment 5 of the design guidelines.			
c	5% of the total lot area and the Kidman Avenue verge shall be set aside for landscaping purposes;			
d	A 3.0 metre wide landscape strip is to be provided on-site for each development (adjoining the Kidman Avenue verge) to screen the front car parking areas.			

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
e	Landscaping should be designed in accordance with water sensitive design principles (native plants, low water vegetation, drip irrigation and mulch)			
f	All developments to provide 1 shade tree for every 4 car-parking bays			
g	The verge and the adjoining landscaped strip area to be reticulated through using drip irrigation system wherever appropriate			
h	Native shade trees and vegetation are to be utilized to screen the car-park and building areas			
i	Storm water runoff from the car parking areas is to be directed to landscaped areas			
j	Storm water to be retained on-site			
k	Landowners shall be responsible for the ongoing maintenance and irrigation of all landscape areas (including the 3.0m wide landscaping strip and adjoining Kidman Avenue verge area) in accordance with the approved Landscape Master Plan at Attachment 5 of the Design Guidelines			
7	PARKING AND CROSSOVERS			
a	Development parking layouts are to be designed in accordance with the Site Plan at Attachment 3 of the Design Guidelines.			
b	On-Site car parking bays should be designed in accordance with the design specifications identified in the City of Swan Vehicle Parking Standards			
c	All customer car parking areas fronting Kidman Avenue must be treated with red asphalt or equivalent to improve visual appearance			
d	Location and design of all crossover points fronting Kidman Avenue are to be in accordance with the approved Landscape Master Plan at Attachment 5			
8	DELIVERY AND LOADING			
a	All internal loading areas to be screened (roller doors) and setback from Kidman Avenue to conform with Site Plan at Attachment 3 of the design guidelines.			
b	All external loading areas to be designed to reduce noise impacts. Applicant to demonstrate how this is achieved			

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
9	SIGNAGE			
a	Business signage is to be integrated into the overall building design within designated location on the front building façade.			
b	Business signage must comply with the relevant provisions contained within City of Swan Town Planning Scheme No 17, Policies and Building Codes			
c	No pylon or roof signage shall be permitted along Kidman Avenue			
10	SECURITY FENCING			
a	Security fencing is to be discrete, setback from the street and integrated into the overall development design			
b	Front fencing (if required) is to be setback to align with the building facades and integrated with the building design.			
11	SECURITY LIGHTING			
a	External lighting shall be discrete and light spill to be contained within the property boundaries and complies with AS - Obtrusive Lighting			
12	SPECIAL DEVELOPMENT (LOTS 7 AND 8 HIGHMAN STREET AND LOT 132 KIDMAN AVENUE)			
a	The development layout is to be generally designed in accordance with the Site Plan at Attachment 3, unless otherwise approved by Council			
b	Any development should to be designed to address the street edge and provide a strong corporate image			
c	A 3.0m building setback is to be provided on both Highman Street and Kidman Avenue frontages (refer Figure 3 of the Design Guidelines)			
d	Car park node is to be located at the rear of the development lots and accessed from Highman Street (refer Attachment 3 of the Design Guidelines)			
e	All other development provisions as outlined within Part 3 are applicable to development on Lots 7 and 8 Highman Street and Lot 132 Kidman Avenue, unless otherwise approved by Council			
13	NOISE MANAGEMENT			
a	The overall noise generated from the operation of any business shall not exceed the maximum noise limits as prescribed by the EPA at the front lot boundary			
b	Any potential noise generating equipment is to be operated within the building to be adequately buffered to prevent external noise impacts			

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
14	DELIVERY MANAGEMENT			
a	Delivery vehicles are limited to heavy, rigid non articulated vehicles as defined by MRWA			
b	All delivery vehicles are to load and unload within the designated loading areas			
c	Delivery vehicles shall not undertake any loading or unloading in the front customer parking area or along the Kidman Avenue road reserve			
d	Delivery times shall be limited to: <ul style="list-style-type: none"> ■ Monday to Friday - (7.00am – 6.00pm) ■ Saturday - (7.00am – 5.00pm) ■ Sunday - No deliveries. 			
15	DUST MANAGEMENT			
a	Dust suppression is to be undertaken as per the EPA requirements during any land clearing, demolition or construction works			
b	Any potential dust generating equipment operating within the building is to adequately enclosed to prevent external dust impacts			
16	ODOUR MANAGEMENT			
a	All developments must comply with AS minimum fresh air rates			
b	All developments must operate so as not to produce or create adverse odour impacting on adjoining business or nearby residents			
17	CONSTRUCTION MANAGEMENT			
a	Site construction is to be undertaken to minimize building waste			
b	All development sites are to be suitably fenced during construction			
c	All construction and demolition works to comply the relevant EPA regulations in respect to noise and dust management			
d	All developments are to prepare a site construction plan as part of the Building Licence process addressing construction works process, construction parking and deliveries, dust and noise management, work hours, waste management and site safety.			

Development Provisions		Self Assessment	City of Swan Assessment	
			Non Compliant	Compliant
18	PARKING MANAGEMENT			
a	No parking shall be permitted on the western side of Kidman Avenue during normal business hours (8.00am – 6.00pm on Monday to Friday)			
b	The western verge area is to be adequately sign posted to outline the parking time restrictions			
c	Shared car parking arrangements are encouraged between development sites to accommodate parking distribution			
19	LANDSCAPE MANAGEMENT			
a	All development lots to be landscaped in accordance with the approved Landscape Master Plan (refer Attachment 4 of the Design Guidelines).			
b	All lot owners shall be responsible for the design, installation and irrigation of the designated landscaped areas within their lots.			
c	Once installed the landowner will be responsible for the ongoing maintenance and irrigation of the landscaped area abutting their lot (Kidman Avenue verge area and 3m wide landscape strip).			

ATTACHMENT 3

SITE PLAN



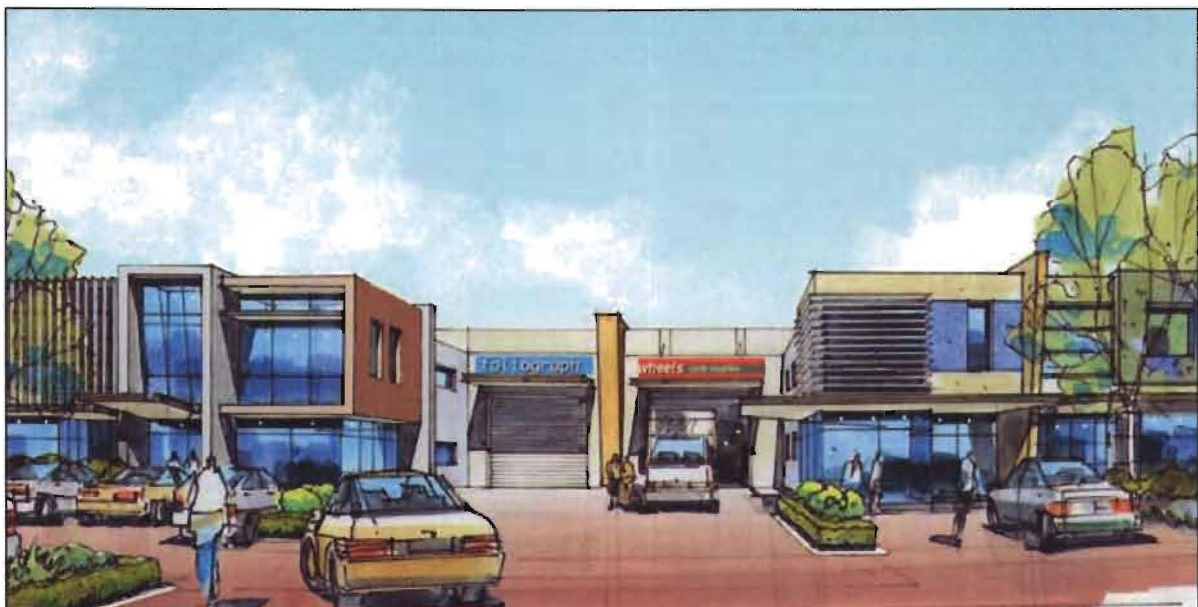
Kidman Avenue Site Plan

ATTACHMENT 4

ARTIST IMPRESSIONS OF BUILDING FORM



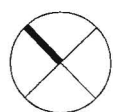
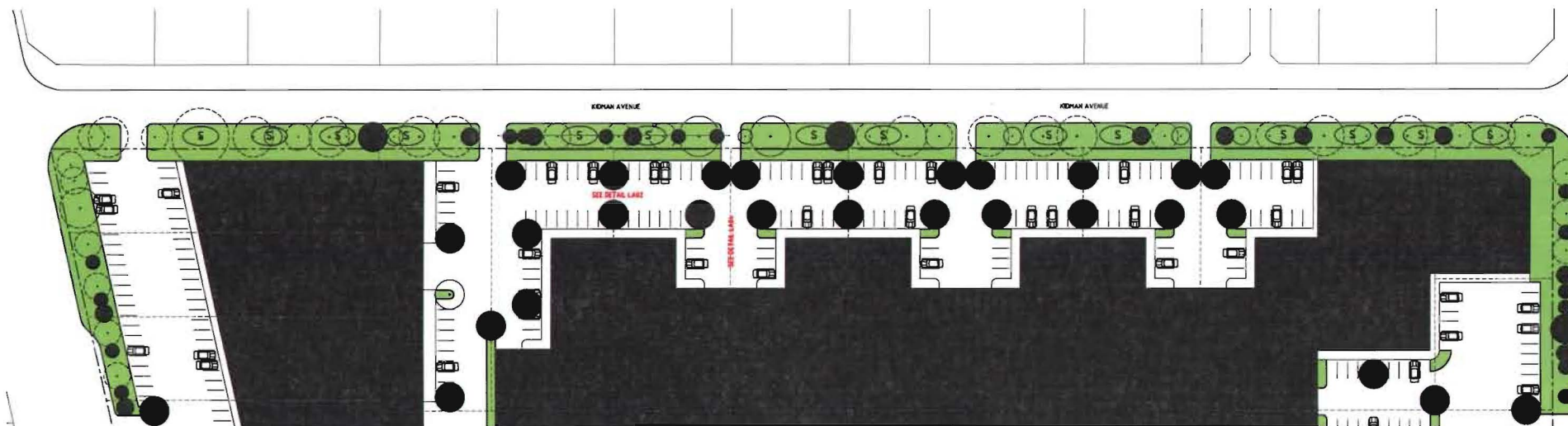
Kidman Avenue Street Perspective



Kidman Avenue Development Perspective

ATTACHMENT 5

LANDSCAPE MASTER PLAN



SWALE




PROPOSED TREES

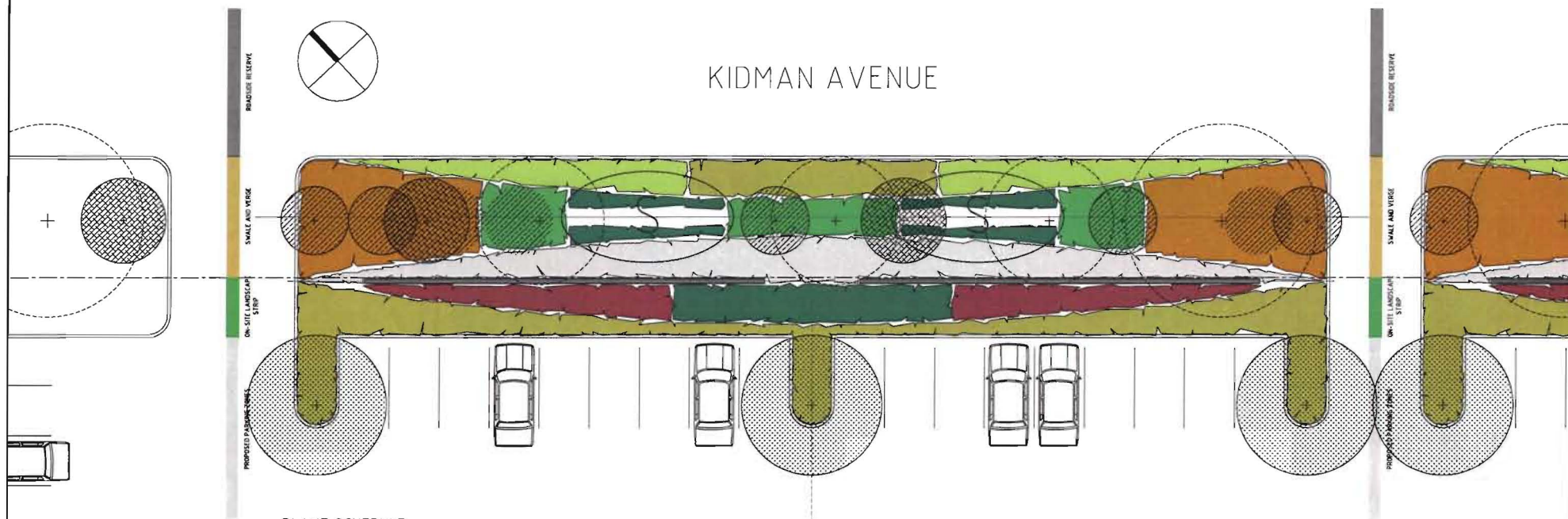


EXISTING TREES

PROPOSED PLANTING SCHEME

NOTE: EXISTING TREES SHOWN AS DASHED OUTLINES,
PROPOSED TREES AS HATCHED BLACK OUTLINES
PROPOSED BUILDING SHOWN IN BLACK.

		Newforms Landscapes - Infrastructure Pty Ltd 18 Day Rd, Leederville, Western Australia 6003 Phone: 08 9250 4300 Fax: 08 9250 4301 http://www.newforms.com.au		DATE: 12.03.2008	REV: 00	DATE: 11.03.2008	REVISION: PRELIMINARY	ATTENTION: THE LANDSCAPE CONCEPT MASTERPLAN IS CONCEPTUAL ONLY AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.
ISSUED TITLE: LANDSCAPE CONCEPT MASTERPLAN	REVISION: P01	LA01	03:NFM020	REV: 01	DATE: 12.03.2008	REVISION: PRELIMINARY		
PROJECT: CENTURION TRANSPORT	REVISION: P02			REV: 02	DATE: 12.03.2008	REVISION: DESIGN GUIDELINES		
CLIENT: BENCHMARK PROJECTS	REVISION: P03							
ADDRESS: LEVEL 4, 18 EAST BROOK TERRACE, EAST PERTH, WA, 6004	REVISION: P04							
PROJECT: LANDSCAPE CONCEPT MASTERPLAN	REVISION: P05							
CLIENT: BENCHMARK PROJECTS	REVISION: P06							
ADDRESS: LEVEL 4, 18 EAST BROOK TERRACE, EAST PERTH, WA, 6004	REVISION: P07							
PROJECT: LANDSCAPE CONCEPT MASTERPLAN	REVISION: P08							
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PLANT SCHEDULE

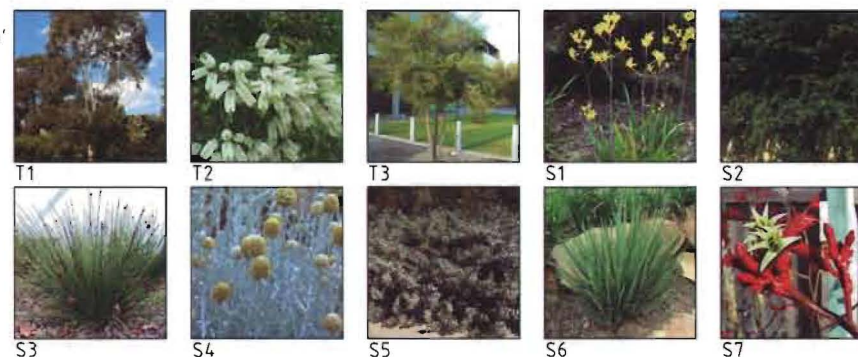
TREES

Symbol.	Species.
T1	Eucalyptus scoparia 'Wallangarra White Gum'
T2	Melaleuca lanceolata 'Rottnest Island Pine'
T3	Melaleuca raphiophylla

SHRUBS

Symbol.	Species.
S1	Grevillea obtusifolia 'Gin Gin Gem'
S2	Leucophyta brownii 'Cushion Bush'
S3	Eromophila glabra 'Kalbarri Carpet'
S4	Dianella revoluta 'Little Rev'
S5	Isolepis nodosa 'Knobby Clubbrush'
S6	Anigozanthos flavidus 'Yellow Gem'
S7	Anigozanthos manglesii 'Big Red'

PLANT IMAGES

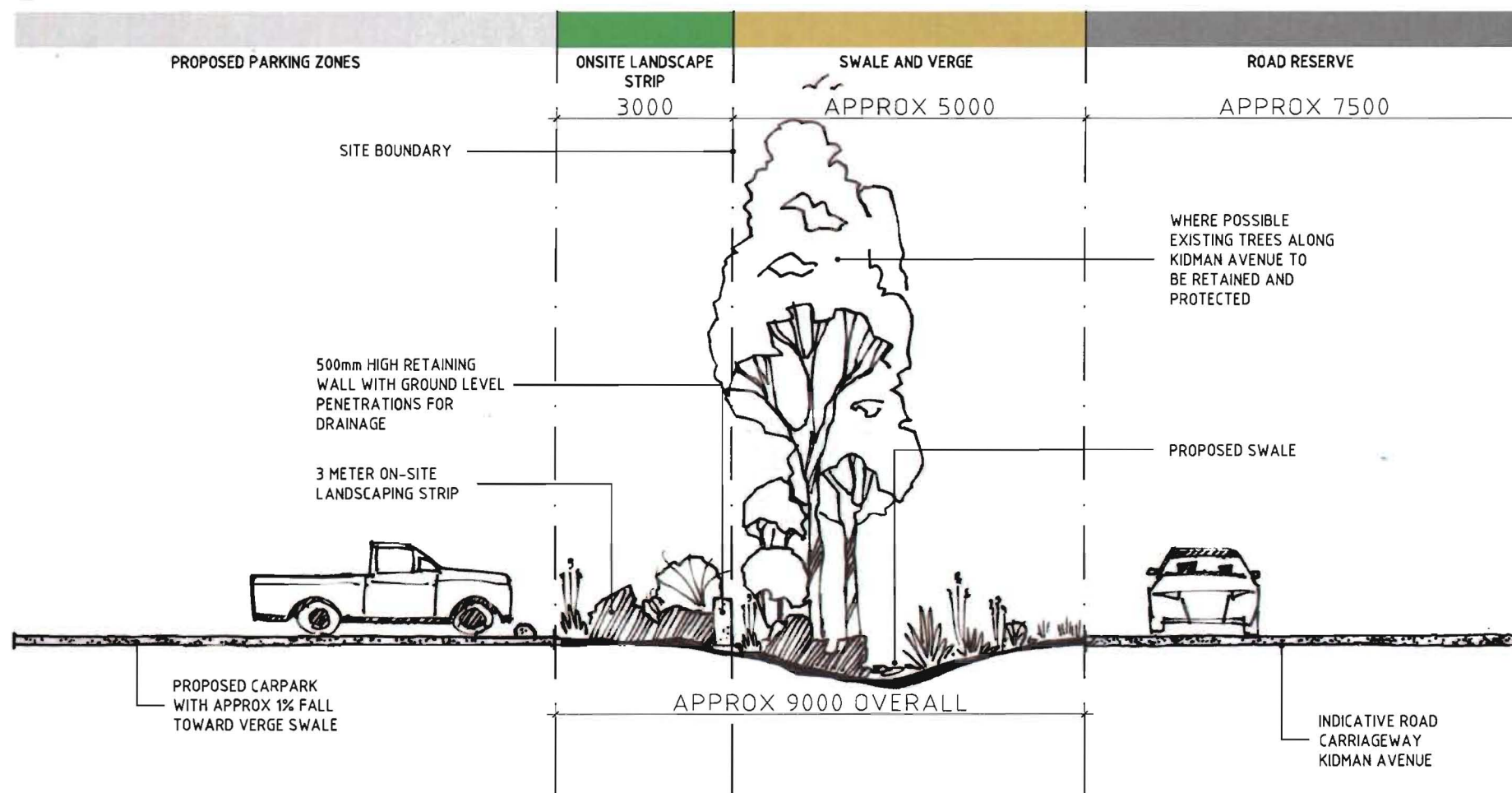



NOTE: EXISTING TREES SHOWN AS DASHED OUTLINES.
PROPOSED TREES AS HATCHED BLACK OUTLINES.

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PROPOSED LANDSCAPE STRIP AND SWALE SECTION

SCALE 1:100



		Newforms Landscape Architecture Pty Ltd 90 Boro 1020 Adelaide Road, Newmarket Auckland 1063 Phone 06 1315 6569 Fax 06 1315 4136 http://www.newforms.co.nz		DATE 12.03.2008		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>00</td><td>08.03.2008</td><td>PRELIMINARY</td></tr><tr><td>01</td><td>11.03.2008</td><td>PRELIMINARY</td></tr><tr><td>02</td><td>12.03.2008</td><td>DESIGN GUIDELINES</td></tr></table>			REV	DATE	DESCRIPTION	00	08.03.2008	PRELIMINARY	01	11.03.2008	PRELIMINARY	02	12.03.2008	DESIGN GUIDELINES	ATTENTION: THE LANDSCAPE CONCEPT MASTERPLAN IS CONCEPTUAL ONLY AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.		
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PROJECT: CENTURION TRANSPORT		DRAWN BY: MG	SCALE: 1:100 @ A4																				
CLIENT: BENCHMARK PROJECTS																							
ADDRESS: LEVEL 4, 10 EAST BROOK TERRACE, EAST PERTH, WA, 6004																							